

NAVARRO INN STABILIZATION PLAN

CLIENTS:
Navarro-by-the-Sea
Center for Riparian and
Estuarine Research (NSCR)
P.O. Box 1710
Mendocino, CA 95460
707-877-3477

CA State Parks
Mendocino District,
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Old Engine Co. No. 2
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CONSULTANT:

NAVARRO INN

NAVARRO, CALIFORNIA

GENERAL NOTES

- THE FOLLOWING NOTES ARE INCLUDED AS INFORMATION PERTAINING DIRECTLY TO THIS SET OF DRAWINGS. PROJECT SPECIFICATIONS SHOULD BE EXAMINED BY THE CONTRACTOR FOR THE BALANCE OF THE SCOPE OF THIS PROJECT.
- ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2007 EDITION, STATE HISTORIC BUILDING CODE, AND ALL LOCAL, STATE AND NATIONAL REGULATIONS.
- BRING ANY ERRORS OR OMISSIONS IN THESE DRAWINGS AND PROJECT SPECIFICATIONS TO THE ATTENTION OF THE STATE REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE STATE REPRESENTATIVE FOR RESOLUTION.
- DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION.
- ALL MATERIAL & WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. WRITTEN INFORMATION TAKES PRECEDENCE OVER GRAPHIC REPRESENTATION.
- CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS BEFORE UNDERTAKING THE WORK OF THIS PROJECT. CONTRACTOR SHALL NOTIFY THE STATE REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE EXISTING SITE CONDITIONS AND INFORMATION AS REPRESENTED IN THE DRAWINGS AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO PROVIDE FOR THE CONSTRUCTION OF A COMPLETE AND WORKABLE PROJECT. WHERE APPLICABLE TO THE DOCUMENTS THE FOLLOWING SHALL APPLY: EXTERIOR ASSEMBLIES SHALL BE WEATHER RESISTANT, AND STRUCTURAL SYSTEMS SHALL BE ABLE TO PERFORM TO THEIR MAXIMUM DESIGN CRITERIA. THE CONTRACTOR SHALL MEET THIS INTENT, BRINGING TO THE ATTENTION OF THE STATE REPRESENTATIVE FOR RESOLUTION ANY ERRORS OR INCONSISTENCIES DISCOVERED IN THE DRAWINGS AND SPECIFICATIONS, PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BRING ALL SUCH ISSUES TO THE ATTENTION OF THE STATE REPRESENTATIVE IMMEDIATELY UPON DISCOVERY AND PRIOR TO COMMENCING ANY WORK RELATED TO THE ISSUE.
- ALL CHANGES TO THE CONTRACT DOCUMENTS SHALL BE AUTHORIZED IN WRITING BY MEANS OF CHANGE ORDERS. CLARIFICATIONS, TO ASSIST THE CONTRACTOR, SHALL NOT BE MISCONSTRUED TO BE AUTHORIZED CHANGES.
- CONTRACTOR SHALL VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS, AND NOTIFY THE STATE REPRESENTATIVE OF ANY PERCEIVED DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS PRIOR TO COMMENCING WITH ANY WORK. CONTRACTOR SHALL VERIFY THAT THERE ARE NO CONDITIONS PREVAILING THAT WILL PREVENT A NORMAL, UNINTERRUPTED CONSTRUCTION PROCESS.
- THE DRAWINGS INDICATE SPECIFIC, TYPICAL AND GENERAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE FOLLOWED FOR SETTING MINIMUM GUIDELINES AND QUALITY, SUBJECT TO REVIEW AND APPROVAL BY THE STATE REPRESENTATIVE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST STANDARD PRACTICE BY PEOPLE TRAINED AND EXPERIENCED IN THE TRADE IN WHICH THEY ARE WORKING. MATERIAL, UNLESS OTHERWISE NOTED, SHALL BE NEW AND OF THE QUALITY SPECIFIED OR BETTER.
- CONTRACTOR SHALL PROTECT AGAINST DAMAGE TO ALL EXISTING COMPONENTS TO REMAIN, INCLUDING BUT NOT LIMITED TO UNDERGROUND UTILITIES, SITE WORK, LANDSCAPING, STRUCTURES AND ADJACENT PROPERTIES. DAMAGES TO SAME SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF AND AT NO ADDITIONAL COST TO THE STATE REPRESENTATIVE.
- CONTRACTOR SHALL FOLLOW SENSITIVE RESOURCE PROTECTIONS CONTAINED IN SPECIFICATIONS REGARDING WETLANDS, BATS, ARCHAEOLOGICAL RESOURCES AND HISTORIC RESOURCES AT ALL TIMES.
- ALL DEMOLITION MATERIALS NOT DESIGNATED TO BE SALVAGED, AND WASTE AND DEBRIS, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A SAFE AND LEGAL MANNER.
- CONTRACTOR MUST BE THOROUGHLY FAMILIAR WITH CONTENT OF SECRETARY OF INTERIOR'S STANDARDS AND WILL BE RESPONSIBLE FOR ADHERENCE TO STANDARDS BY ALL EMPLOYEES AND SUBCONTRACTORS.
- THE CONTRACTOR SHALL MAINTAIN AN ARTIFACT LOG OF HISTORIC ELEMENTS TO BE RETAINED. THE LOG SHALL BE A DISCREET SET OF PAGES LISTING BOTH BUILDING AND NON-BUILDING ELEMENTS TO BE RETAINED FOR EACH ROOM IN ADDITION TO ANY NOTES APPEARING IN THE DRAWINGS.



PROJECT DESCRIPTION

NAVARRO INN SCOPE OF WORK

GENERAL:
PHASE ONE - STABILIZATION AND SEISMIC UPGRADE TO THE HISTORIC CIRCA 1865 NAVARRO INN USING THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES. THERE WILL BE NO OCCUPANCY AT THE COMPLETION OF THIS PHASE OF WORK.

BASE BID:
1. REMOVE EXISTING SOUTHERN AND NORTHERN ADDITIONS AS SHOWN ON THE DRAWINGS. RETAIN HISTORIC BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO THE BAR, COOLER, AND FIXTURES IN DOWNSTAIRS BATH AND EASTERN UPSTAIRS BATH. HISTORIC ELEMENTS TO BE RETAINED ARE NOTED IN THE DRAWINGS. PRIOR TO REMOVAL, PHOTO-DOCUMENT ADDITION "B" ON THE INTERIOR AND EXTERIOR. REMOVAL OF ANY ADDITIONS WILL INVOLVE THE CAREFUL REMOVAL AND SALVAGE OF ALL EXTERIOR SIDING AND USABLE HISTORIC ELEMENTS. ALL USABLE HISTORIC ELEMENTS TO ADDITION "B" SHALL BE RETAINED WITH THE INTENT OF REBUILDING THIS ADDITION AT A LATER PHASE OF REHABILITATION.

2. REMOVE EXISTING PORCH AND SALVAGE ELEMENTS AS SHOWN ON THE DRAWINGS FOR RE-USE IN THE ALTERNATE ONE PORCH RECONSTRUCTION.

3. DISMANTLE EXISTING CHIMNEY, FIREBOX AND MANTLE ELEMENTS. CATALOG AND SALVAGE FIREBOX, MANTLE, AND WALL COVERINGS REMOVED TO ACCESS CHIMNEY FOR DECONSTRUCTION AND RECONSTRUCTION IN A FUTURE PHASE. RETAIN ALL ELEMENTS OF CHIMNEY ASSEMBLY FOR RECONSTRUCTION. DOCUMENT ANY EVIDENCE OF EARLIER FIREPLACE/CHIMNEY CONSTRUCTION. STORE BRICKS FOR REUSE ON SITE AS SHOWN IN DRAWINGS. CLOSE OPENING AT ROOF AT CHIMNEY STACK PENETRATION, AND AT WEST WALL FIREBOX OPENING.

4. LIFT THE BUILDING THREE FEET ABOVE THE EXISTING FINISHED FLOOR ELEVATION. REPLACE DETERIORATED FIRST FLOOR WOOD SPANNING ELEMENTS. THE AREA OF REPLACEMENT IS THE SOUTH SECTION OF THE BUILDING AS SHOWN ON THE DRAWINGS.

5. INSTALL NEW CONCRETE GRADE BEAM AND STEM WALL FOUNDATIONS, INCLUDING A NEW RETAINING WALL AND SLAB AT THE REAR OF THE BUILDING. INCLUDE FOUNDATION FOR ALT. 1 PORCH AT THIS TIME. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL HIRE A PROFESSIONAL ARCHAEOLOGIST TO BE PRESENT ON-SITE DURING THE EXCAVATION PROCESS. (SEE SPECIFICATIONS)

6. CATALOG, REMOVE AND SALVAGE FOR REINSTALLATION, EXTERIOR WOOD SIDING AT LOCATIONS TO RECEIVE SEISMIC REINFORCING ON WALL SURFACES AND / OR FOR INSPECTION OR REPLACEMENT OF VERTICAL REDWOOD SUB-SHEATHING OR WHERE REMOVED FOR CONSTRUCTION ACCESS. ALL SIDING REMOVAL SHALL BE DONE USING METHODS THAT AVOID DAMAGE TO ORIGINAL FABRIC TO THE MAXIMUM EXTENT FEASIBLE. IF UNAVOIDABLE AND IRREPAIRABLE DAMAGE PREVENTS REINSTALLATION, INSTALL NEW IN-KIND WOOD SIDING TO REPLACE MATERIAL LOST TO DETERIORATION OR UNAVOIDABLY DAMAGED IN REMOVAL FOR SEISMIC WORK. REFASTEN LOOSE SIDING THROUGHOUT. REPLACE DETERIORATED VERTICAL SUB-SHEATHING IN-KIND TO MATCH EXISTING HISTORIC SUB-SHEATHING. INSTALL SEISMIC REINFORCING STRAPS AND SHEAR WALLS AS SHOWN ON THE DRAWINGS.

7. REFRAME SOUTH EXTERIOR WALL TO RESTORE BEARING. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. COVER AND FLASH NEW WINDOW OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING VENTED COVERINGS.

8. REFRAME NORTHWEST CORNER PICTURE WINDOWS AT PORCH TO RESTORE BEARING. FRAME OPENINGS BASED ON HISTORIC WINDOW LOCATIONS. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. COVER AND FLASH NEW WINDOW OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING.

9. REMOVE SCORED REDWOOD WALL CLADDING AT THE ORIGINAL NORTH FACING WALL OF THE MAIN BUILDING AT THE DEMOLISHED BAR ADDITION. INSPECT VERTICAL REDWOOD SUB-SHEATHING. IF REQUIRED REPLACE BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. COVER AND FLASH NEW WINDOW OR EXISTING DOOR OPENINGS IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING.

10. REPAIR OR REPLACE FASOIA, AND EXTERIOR TRIM. REPLACE EXISTING DOOR AT SOUTHWEST CORNER OF BUILDING WITH TEMPORARY VANDAL RESISTANT DOOR AND LOCKING SYSTEM TO PROVIDE SECURE PRIMARY ACCESS TO BUILDING. PREP, PRIME, AND PAINT ALL EXTERIOR WOOD ELEMENTS.

11. DEMOLISH EXISTING MOTEL STRUCTURE TO THE WEST OF THE INN. PRIOR TO DEMOLITION OR CONSTRUCTION, REMOVE HAZARDOUS MATERIALS PER "LEAD AND ASBESTOS SURVEY REPORT" IN MOTEL STRUCTURE AT INN AS SPECIFIED BY RGA ENVIRONMENTAL JULY 31, 2009.

ALTERNATES:
ALTERNATE ONE: RECONSTRUCT THE FRONT PORCH PER 1930'S ERA HISTORIC PHOTOGRAPHS AND AS SHOWN IN THE DRAWINGS.
ALTERNATE TWO: DEMOLISH TEMPORARY ROOF AND OLD ROOFING - INSTALL NEW PLYWOOD SHEATHING OVER (E) SKIP SHEATHING. INSTALL NEW ASPHALT SHINGLE ROOF.
ALTERNATE THREE: INSTALL TEMPORARY WINDOWS AT SPECIFIED LOCATIONS ON FIRST FLOOR.

HISTORICAL STATUS: LISTING ON NATIONAL REGISTER OF HISTORIC PLACES - PENDING

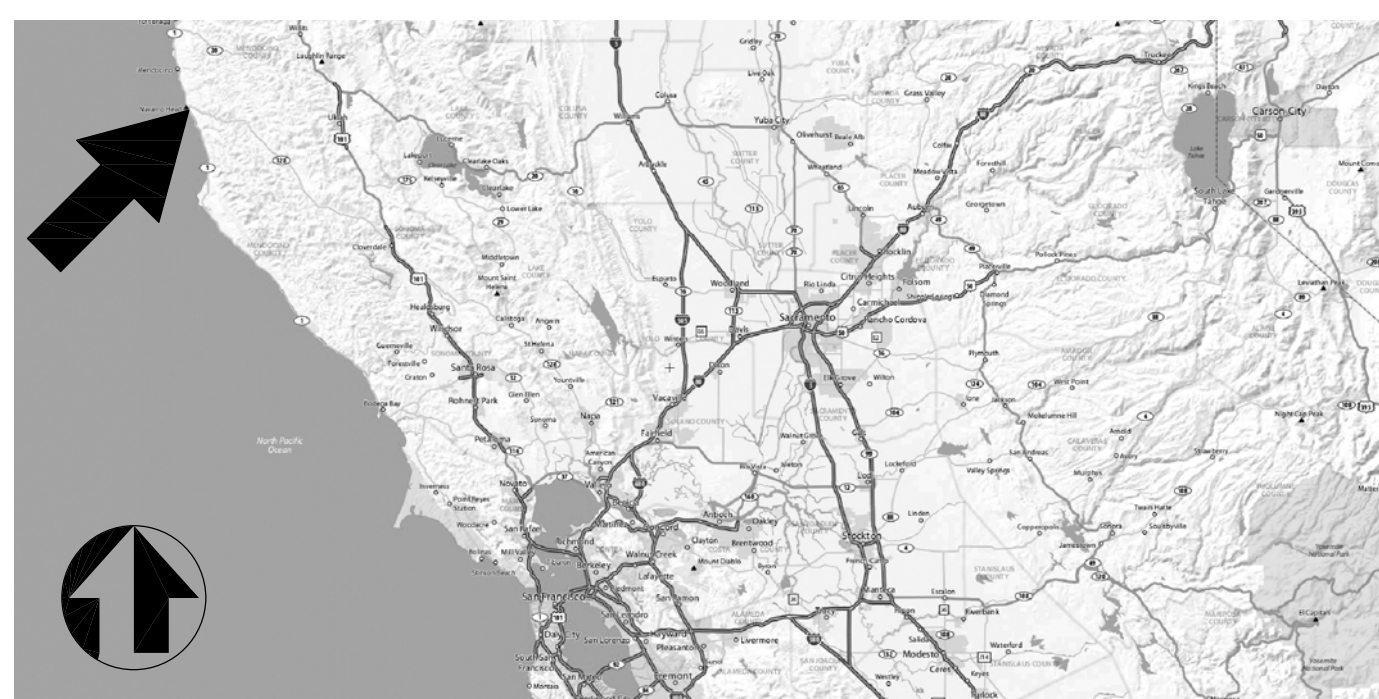
APPLICABLE CODES AND GUIDELINES: CALIFORNIA BUILDING CODE (2007) AND STATE HISTORICAL BUILDING CODE (2007)

CONSTRUCTION TYPE: ARCHAIC, WOOD FRAME TYPE V

OCCUPANCY: THIS PROJECT IS FOR STABILIZATION ONLY. NO OCCUPANCY WILL OCCUR AT PROJECT COMPLETION.

GROSS AREA: 1ST FLOOR: 1263 SQ FT 2ND FLOOR: 1219 SQ SF

REGION AND VICINITY MAP (NOT TO SCALE)



SYMBOLS

- DETAIL REFERENCE
- FLOOR REFERENCE
- SECTION REFERENCE
- EXTERIOR ELEVATION
- KEY NOTE

ABBREVIATIONS

⊙	At	HDWD	Hardwood
⊙	Centerline	HDWR	Hardwood
⊙	Diameter or Round	HT	Height
AGGR.	Aggregate	INT.	Interior
ALT.	Alternate	MAX.	Maximum
APPROX.	Approximate	MEMB.	Membrane
ARCH.	Architect(ural)	MET.	Metal
BD.	Board	MIN.	Minimum
BLCK.	Building	MISC.	Miscellaneous
BLKC.	Blocking	MTD.	Mounted
BLM.	Blom	(N)	New
BSMT.	Basement	N.	North
B.U.	Built-up	N.C.	Not in Contract
B.U.R.	Built-up Roofing	NOM.	Nominal
BTWN.	Between	N.T.S.	Not To Scale
CEM.	Cement	O.C.	On Center
CLC.	Ceiling	O.D.	Outside Diameter (Dim.)
CLR.	Clear	OPNG.	Opening
COL.	Column	OPF.	Opposite
CONC.	Concrete	PL	Plate
CONT.	Continuous	PLYWD.	Plywood
CTR.	Center	PT.	Pressure Treated
DBL.	Double	PTD.	Painted
DECON	Deconstruction	PTDF.	Pressure Treated Douglas Fir
DET.	Detail	RWD.	Redwood
DIA.	Diameter	REINF.	Reinforced
DIM.	Dimension	REIN.	Reinforcing
DR.	Door	RET.	Retaining
DWG.	Drawing	REQ.	Required
(E)	Existing	RM	Room
EA.	Each	R.O.	Rough Opening
EL.	Elevation	RWD.	Redwood
ELEC.	Electrical	R.W.L.	Rain Water Leader
EQUIP.	Equipment	S.	South
EXT.	Exterior	SEE ARCHITECTURAL DRAWINGS	
F.B.	Flat Bar	SEE ELECTRICAL DRAWINGS	
FIN.	Finish	SH.	Sheet
FL.	Floor	SIM.	Similar
FLASH.	Flashing	S.M.D.	SEE MECHANICAL DRAWINGS
F.O.C.	Face of Concrete	SPEC.	Specification
F.O.F.	Face of Finish	SQ.	Square
F.O.S.	Face of Studs	SEE STRUCTURAL DRAWINGS	
FT.	Foot or Feet	S.S.T.	Stainless Steel
FURR.	Furring	STD.	Standard
GA.	Gauge	STL.	Steel
CALL.	Callout	STOR.	Storage
END.	End	SYM.	Symmetrical
GR.	Grade	TYP.	Typical
GYP.	Gypsum	UNF.	Unfinished
C.W.B.	Gypsum Wall Board	U.G.N.	Unless Otherwise Noted
		V.G.D.F.	Vertical Grain Douglas Fir
		W.	West
		WB.	Wood
		WP.	Waterproof

PROJECT TEAM

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CIVIL
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I.L. Welty & Associates
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Fort Bragg, CA 95437

LIST OF DRAWINGS

ARCHITECTURAL	STRUCTURAL
A0.0 COVER SHEET	SO.1 GENERAL NOTES
A0.1 SITE PLAN	S1.1 FOUNDATION & 1ST FLR FRAMING
A1.1 DECONSTRUCTION PLAN - 1st FL	S1.2 SECOND FLOOR FRAMING PLAN
A1.1a DECONSTRUCTION PLAN - 2nd FL	S1.3 ROOF FRAMING PLAN
A1.2 DECONSTRUCTION PLAN - ROOF	S2.1 ELEVATIONS
A1.3 DECONSTRUCTION PLAN - HOTEL	S3.1 TYP FOUNDATION DETAILS
A2.1 PLAN - FIRST FL & SECOND FL	S3.2 FOUNDATION DETAILS
A2.2 PLAN - ROOF	S4.1 TYPICAL FRAMING DETAILS I
A3.0 ELEVATION - NORTH	S4.2 TYPICAL FRAMING DETAILS II
A3.1 ELEVATION - SOUTH	S5.1 LATERAL FRAMING DETAILS
A3.2 ELEVATION - EAST & WEST	
A4.0 SECTION - N-S	
A7.0 BASE BID DETAILS	
A7.1 BASE BID DETAILS	
A7.2 ALT. 1 DETAILS - PORCH	
A7.3 ALT. 2 DETAILS - ROOF	
ALT. 3 DETAILS - WINDOWS	

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75% PROGRESS PRINTING SET	12-19-08
100% C.D. SET	8-10-09
REVISED 100% CD SET	12-14-09
REVISED 100% CD SET	2-15-10
BID DOCUMENTS	05-16-11

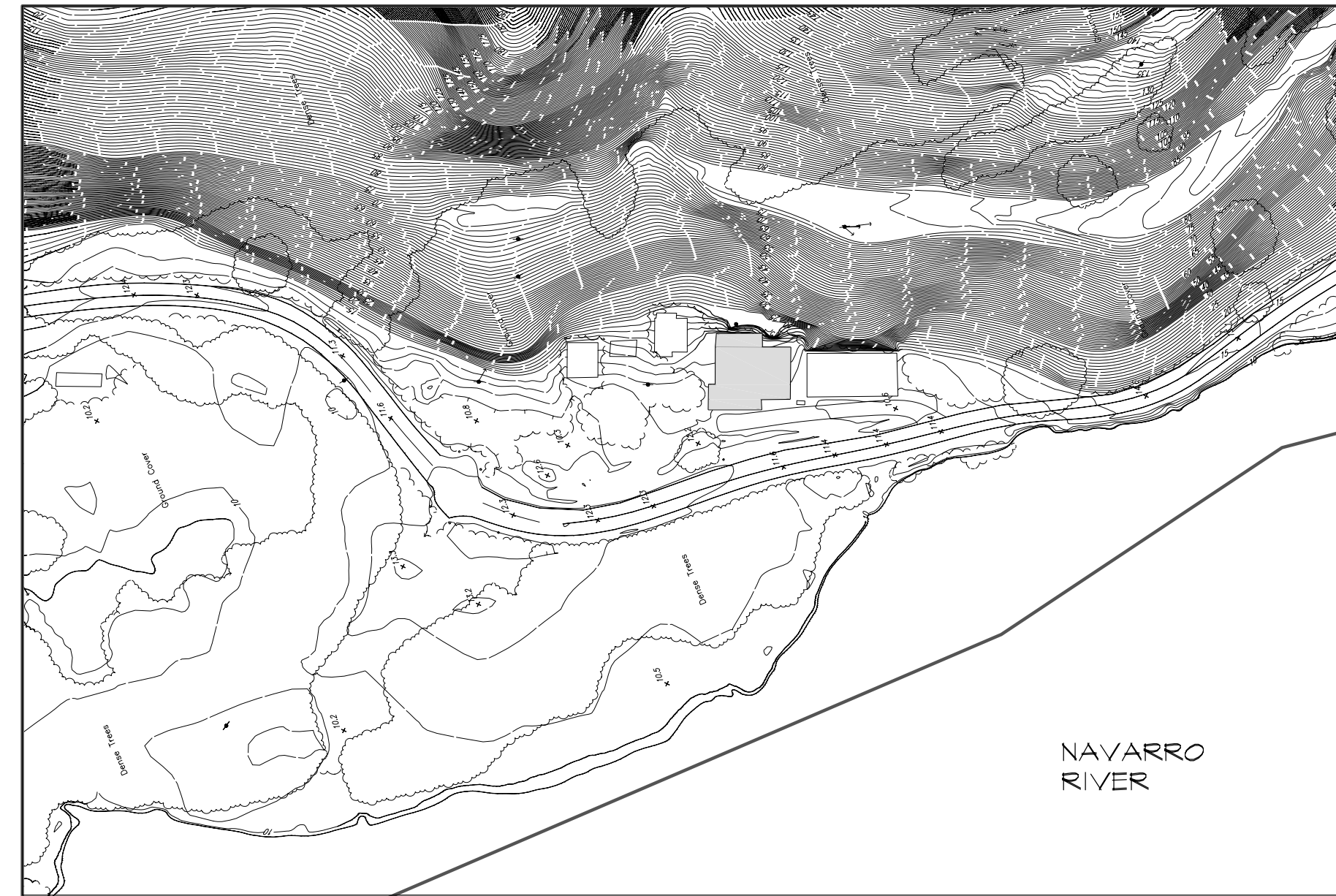
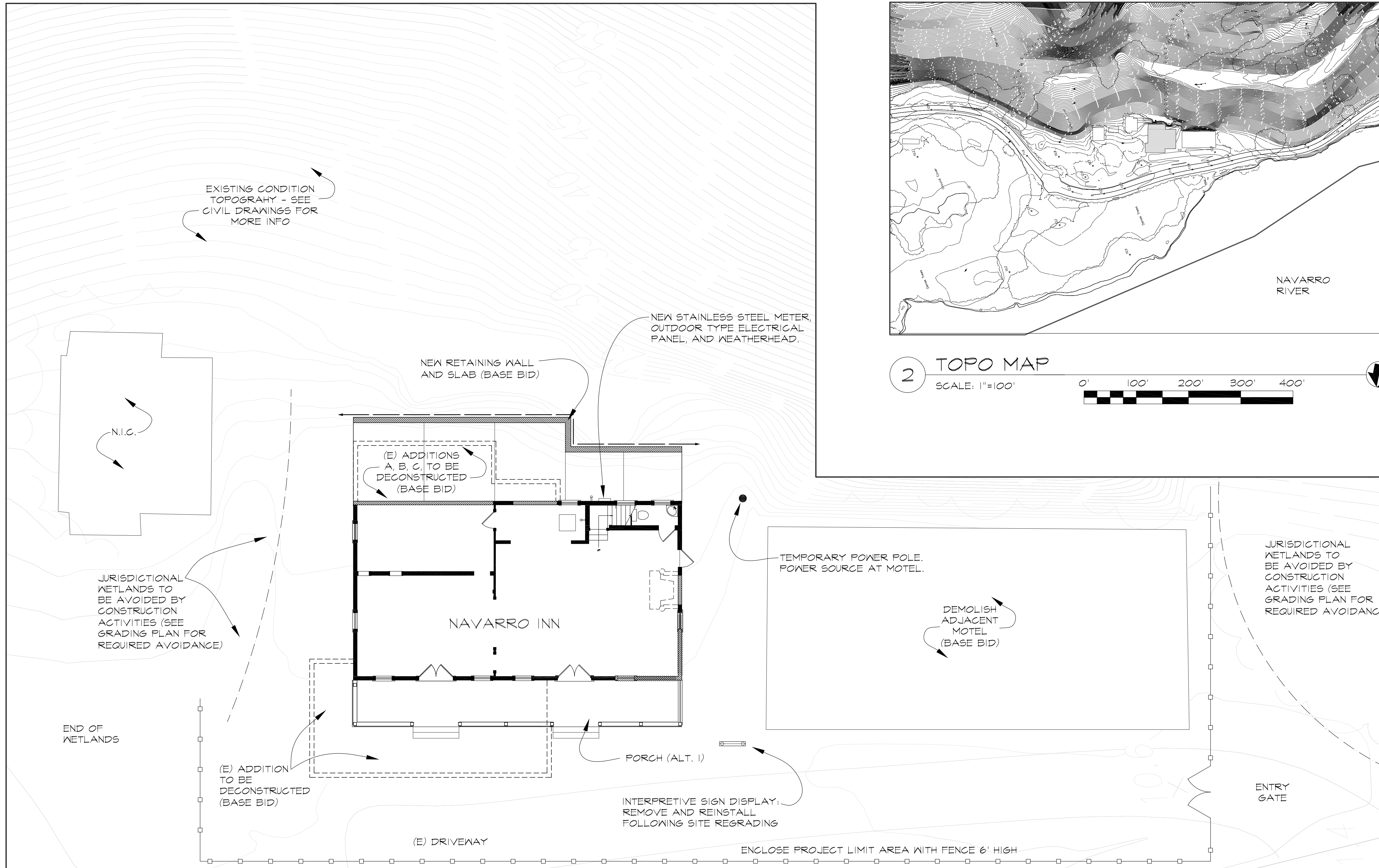
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CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

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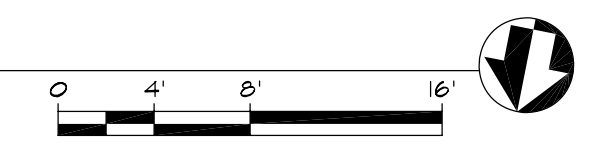
☐ FULL-SIZE, 22x34 ☐ HALF-SIZE, 11x17
SHEET OF



2 TOPO MAP
SCALE: 1"=100'

0' 100' 200' 300' 400'

1 (E) SITE PLAN
SCALE: 1/8"= 1'



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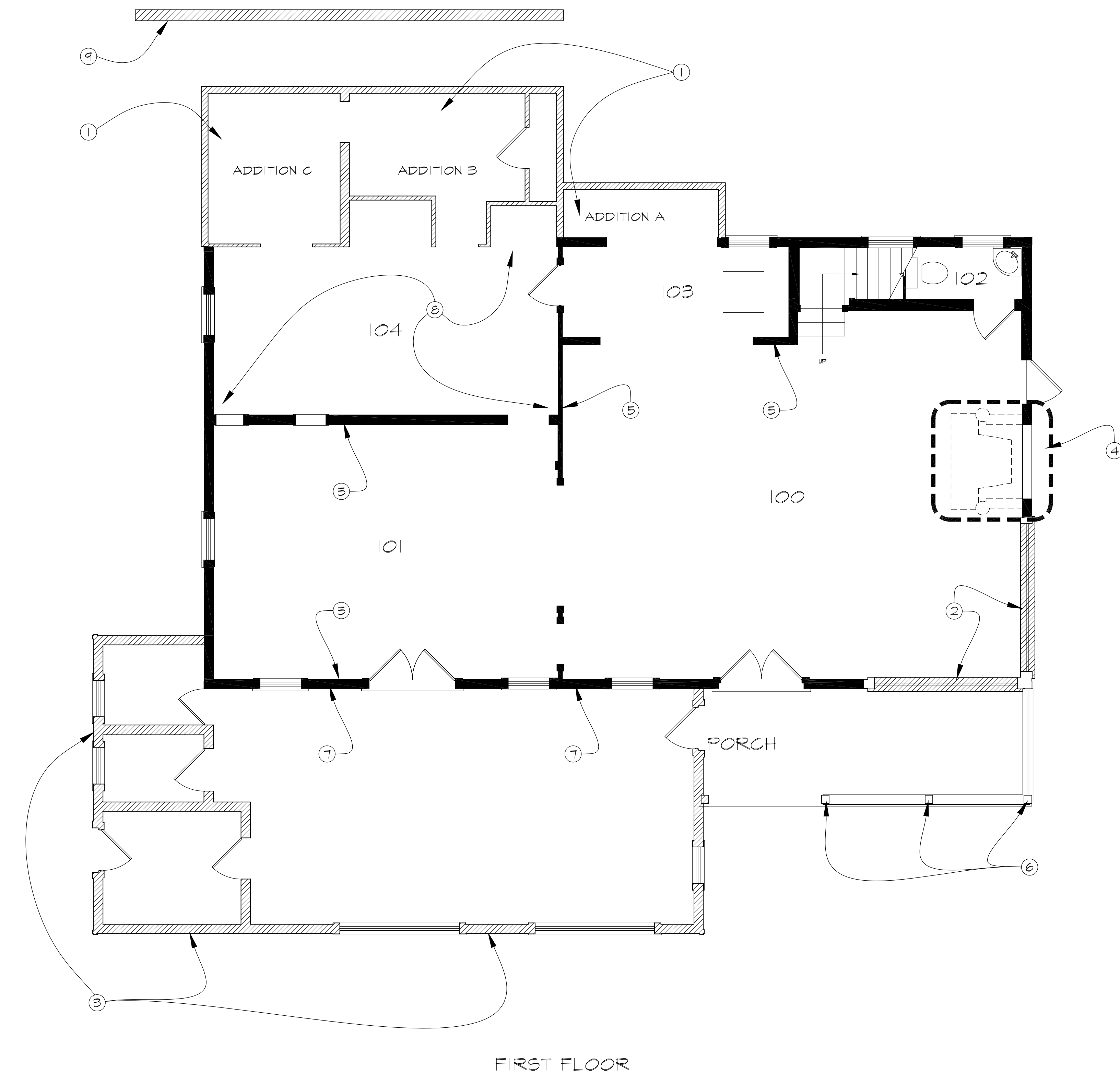
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STAMP:

DRAWING TITLE:
SITE PLAN

DATE: 8-10-09
DRAWN: C.M.
CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:
A0.1
FULL-SIZE, 22x34 SHEET
HALF-SIZE, 11x17 OF



1 DECONSTRUCTION PLAN - FIRST FLOOR
SCALE: 1/4"=1'-0"

KEY NOTES

- 1 REMOVE REAR ADDITIONS. PHOTODOCUMENT THE INTERIOR AND EXTERIOR OF ADDITION B. DOCUMENT ADEQUATELY FOR REBUILDING, INCLUDING MEASURED DRAWINGS, IN A FUTURE PHASE. RETAIN ALL USEABLE ELEMENTS FOR FUTURE USE AND STORE IN BUILDING OR AS DIRECTED BY STATE REPRESENTATIVE. ASSUME 100% RETENTION OF ADDITION B ELEMENTS INCLUDING INTERIOR SHEATHING, CALIFORNIA COOLER AND EXTERIOR CLADDING.
- 2 REMOVE PICTURE WINDOWS.
- 3 REMOVE PORCH ADDITION. REMOVAL INCLUDES PLUMBING, FIXTURES, AND BAR. PRIOR TO DEMOLITION REMOVE ASBESTOS AND LEAD CONTAINING MATERIALS. SEE SPECIFICATIONS.
- 4 DECONSTRUCT CHIMNEY STACK, FIREBOX, MANTLE, AND FIREPLACE SURROUND ELEMENTS. SALVAGE BRICKS AND STORE IN WORKSHOP BUILDING ACROSS FROM MILL HOUSE FOR RE-INSTALLATION IN A FUTURE PHASE. STACK BRICKS ON PALLETS AT A SUFFICIENT HEIGHT TO PROTECT AGAINST FLOOD EVENTS. RETAIN ALL ELEMENTS OF CHIMNEY ASSEMBLY FOR RECONSTRUCTION. DOCUMENT ANY EVIDENCE OF EARLIER FIREPLACE/CHIMNEY CONSTRUCTION.
- 5 RETAIN PINE INTERIOR WALL CLADDING THROUGHOUT FIRST FLOOR.
- 6 REMOVE EXISTING PORCH. SALVAGE THREE 6X6 POSTS AND RAIL CAP FOR RE-USE. SALVAGE SIDING. PHOTODOCUMENT PORCH PRIOR TO REMOVAL AND DOCUMENT ADEQUATELY FOR REBUILDING AS SHOWN IN ALTERNATE #1.
- 7 REMOVE SCORED REDWOOD WALL CLADDING AT THE ORIGINAL NORTH FACING WALL OF THE MAIN BUILDING AT THE DEMOLISHED BAR ADDITION TO EXPOSE ORIGINAL EXTERIOR WALL.
- 8 ROOM 104: REMOVE DETERIORATED FIRST FLOOR WOOD SPANNING ELEMENTS AND FLOORING.
- 9 DEMOLISH BURIED RETAINING WALL AT HILLSIDE.

GENERAL NOTES

1. REMOVE AND DISPOSE OF STOVE IN ROOM 104. RETAIN AND PROTECT HISTORIC ELEMENTS INCLUDING BUT NOT LIMITED TO THE BAR, COOLER, AND FIXTURES IN DOWNSTAIRS BATH.
2. REMOVE AND SALVAGE FOR REINSTALLATION, EXTERIOR SIDING AT LOCATIONS TO RECEIVE SEISMIC REINFORCING ON WALL SURFACES AND/OR FOR INSPECTION OR REPLACEMENT OF VERTICAL REDWOOD SUB-SHEATHING, OR WHERE REMOVED FOR GENERAL CONSTRUCTION ACCESS.

LEGEND

TO BE DECONSTRUCTED

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CAREY & CO. INC.
ARCHITECTURE



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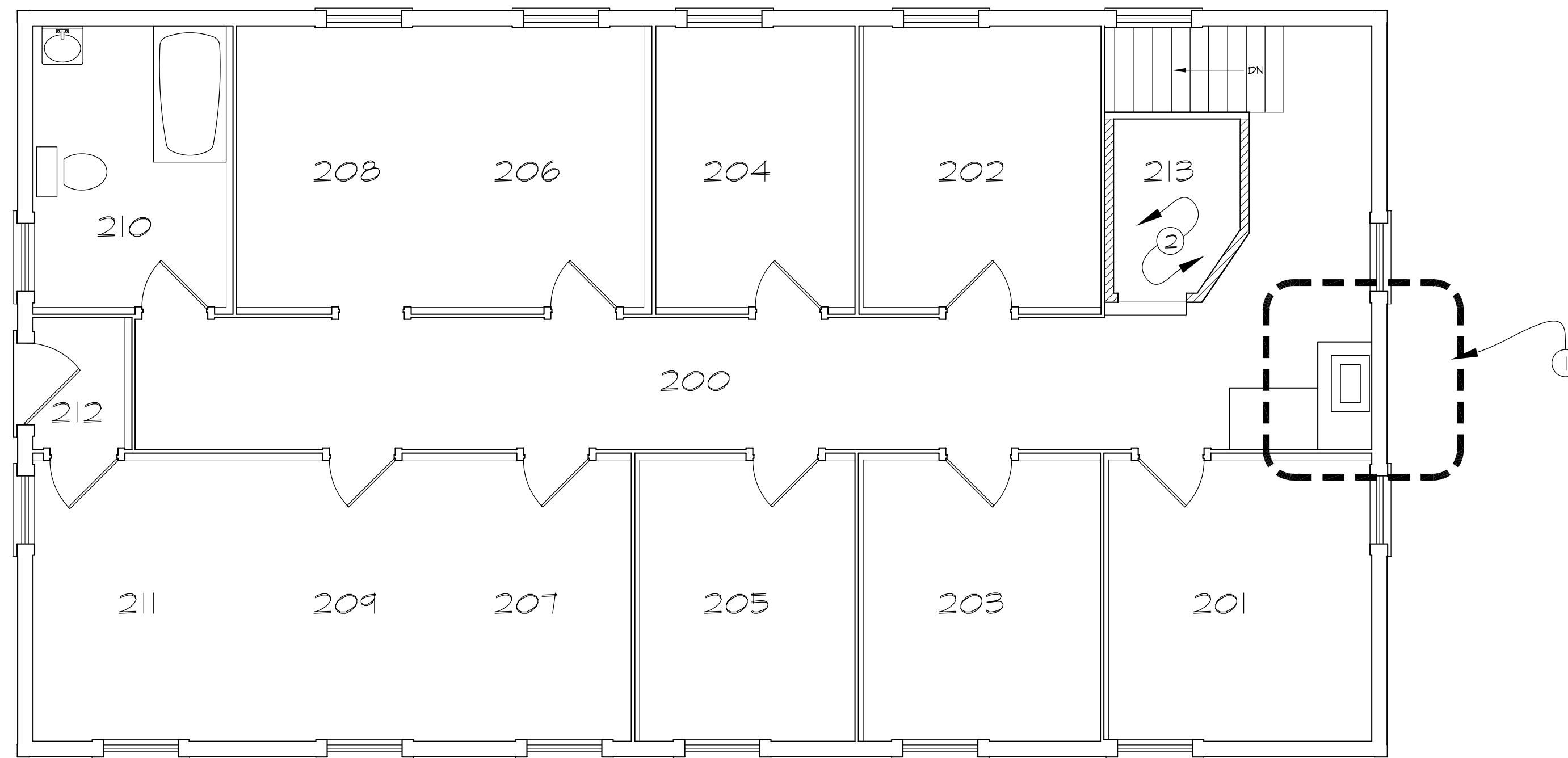
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**DECON PLAN
1ST FLOOR**

DATE:	8-10-09
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SCALE:	AS NOTED

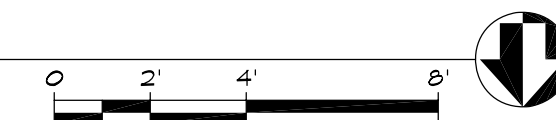
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FULL-SIZE, 22x34 HALF-SIZE, 11x17
SHEET OF



SECOND FLOOR

1 DECONSTRUCTION PLAN - SECOND FLOOR
SCALE: 1/4"=1'-0"



GENERAL NOTES

- REMOVE AND SALVAGE FOR REINSTALLATION, EXTERIOR SIDING AT LOCATIONS TO RECEIVE SEISMIC REINFORCING ON WALL SURFACES AND/OR FOR INSPECTION OR REPLACEMENT OF VERTICAL REDWOOD SUB-SHEATHING, OR WHERE REMOVED FOR GENERAL CONSTRUCTION ACCESS.

KEY NOTES

- DECONSTRUCT CHIMNEY STACK, FIREBOX, MANTLE, AND FIREPLACE SURROUND ELEMENTS. SALVAGE BRICKS AND STORE IN WORKSHOP BUILDING ACROSS FROM MILL HOUSE FOR RE-INSTALLATION IN A FUTURE PHASE. STACK BRICKS ON PALLETS AT A SUFFICIENT HEIGHT TO PROTECT AGAINST FLOOD EVENTS. RETAIN ALL ELEMENTS OF CHIMNEY ASSEMBLY FOR RECONSTRUCTION. DOCUMENT ANY EVIDENCE OF EARLIER FIREPLACE/CHIMNEY CONSTRUCTION.
- REMOVE AND DISPOSE OF FIXTURES IN ROOM 213 AND DEMOLISH WALLS FACING HALLWAY TO EXPOSE ORIGINAL WALL TO ROOM 202 AND DEMOLISH RAISED FLOOR TO EXPOSE ORIGINAL FLOORING.

LEGEND

TO BE DEMOLISHED

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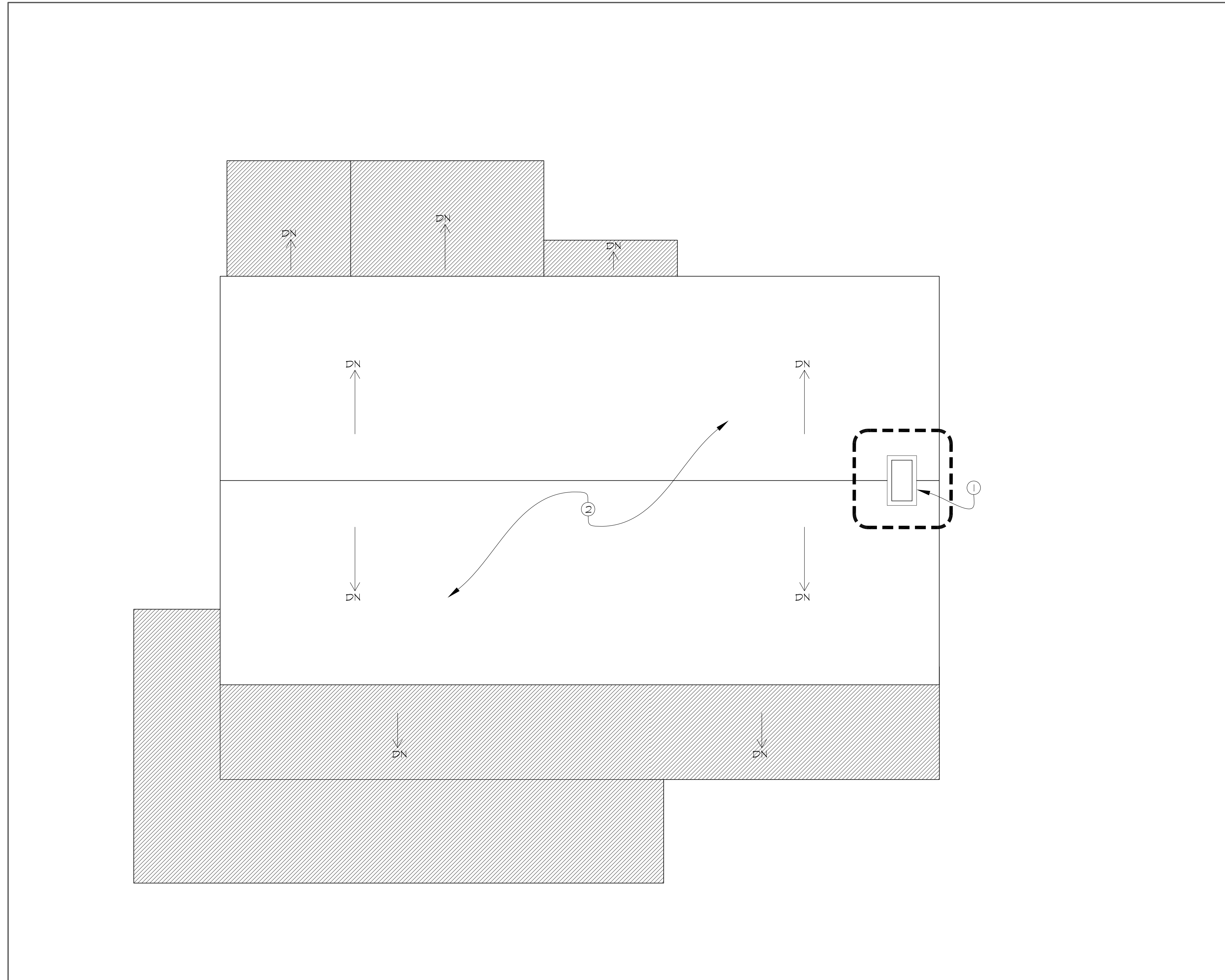
DECON PLAN
2ND FLOOR

DATE: 8-10-09
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PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:

A1.1a

FULL-SIZE, 22x34 SHEET HALF-SIZE, 11x17 OF



1 DECONSTRUCTION PLAN - ROOF
SCALE: 1/4"=1'-0"



GENERAL NOTES

I. N/A

KEY NOTES

- ① DECONSTRUCT CHIMNEY STACK, FIREBOX, MANTLE, AND FIREPLACE SURROUND ELEMENTS. SALVAGE BRICKS AND STORE IN WORKSHOP BUILDING ACROSS FROM MILL HOUSE FOR RE-INSTALLATION IN A FUTURE PHASE. STACK BRICKS ON PALLETS AT A SUFFICIENT HEIGHT TO PROTECT AGAINST FLOOD EVENTS. RETAIN ALL ELEMENTS OF CHIMNEY ASSEMBLY FOR RECONSTRUCTION. DOCUMENT ANY EVIDENCE OF EARLIER FIREPLACE/CHIMNEY CONSTRUCTION.
- ② ALTERNATE TWO: DEMOLISH TEMPORARY METAL ROOF AND OLD ROOFING TO THE SKIP SHEATHING. IF TEMPORARY CORRUGATED ROOF SHEETS ARE SOUND, SALVAGE FOR DELIVERY TO THE STATE REPRESENTATIVE.

LEGEND

TO BE DEMOLISHED

CLIENTS:
Navarro-by-the-Sea
Center for Riparian and
Estuarine Research (NSCR)
P.O. Box 1710
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707-877-3477

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Mendocino District,
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707-937-5804



ARCHITECT:
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CONSULTANT:

NAVARRO INN

 NAVARRO, CALIFORNIA

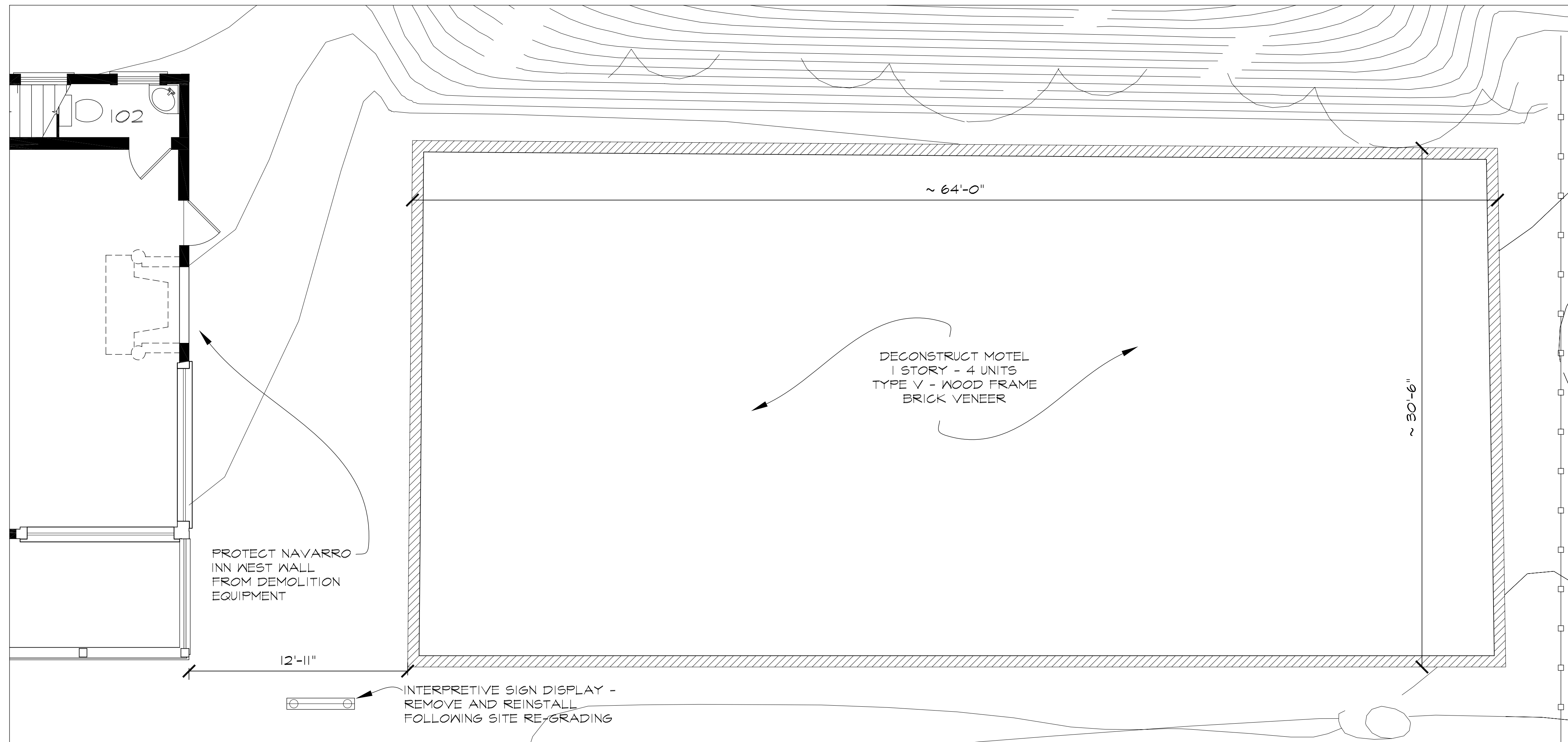
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75% PROGRESS PRINTING SET	12-19-08
100% C.D. SET	8-10-09
REVISED 100% CD SET	12-14-09
REVISED 100% CD SET	2-15-10
BID DOCUMENTS	05-16-11

STAMP:

DRAWING TITLE:
**DECON PLAN
ROOF**

DATE: 8-10-09
DRAWN: C.M.
CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:
A1.2
 FULL-SIZE, 22x34
 HALF-SIZE, 11x17
 SHEET OF



2 DECONSTRUCTION PLAN - MOTEL
SCALE: 1/4"=1'-0"



1 MOTEL PHOTOGRAPHS
SCALE: NO SCALE

GENERAL NOTES

- SEE SPECIFICATION BUILDING DECONSTRUCTION FOR DECONSTRUCTION REQUIREMENTS. PRIOR TO DECONSTRUCTION REMOVE LEAD AND ASBESTOS CONTAINING MATERIALS. SEE SPECIFICATIONS.
- REMOVE INTERPRETIVE SIGN DISPLAY TO PREVENT DAMAGE DURING CONSTRUCTION AND REINSTALL FOLLOWING COMPLETION OF SITE GRADING.

KEY NOTES

LEGEND

TO BE DEMOLISHED

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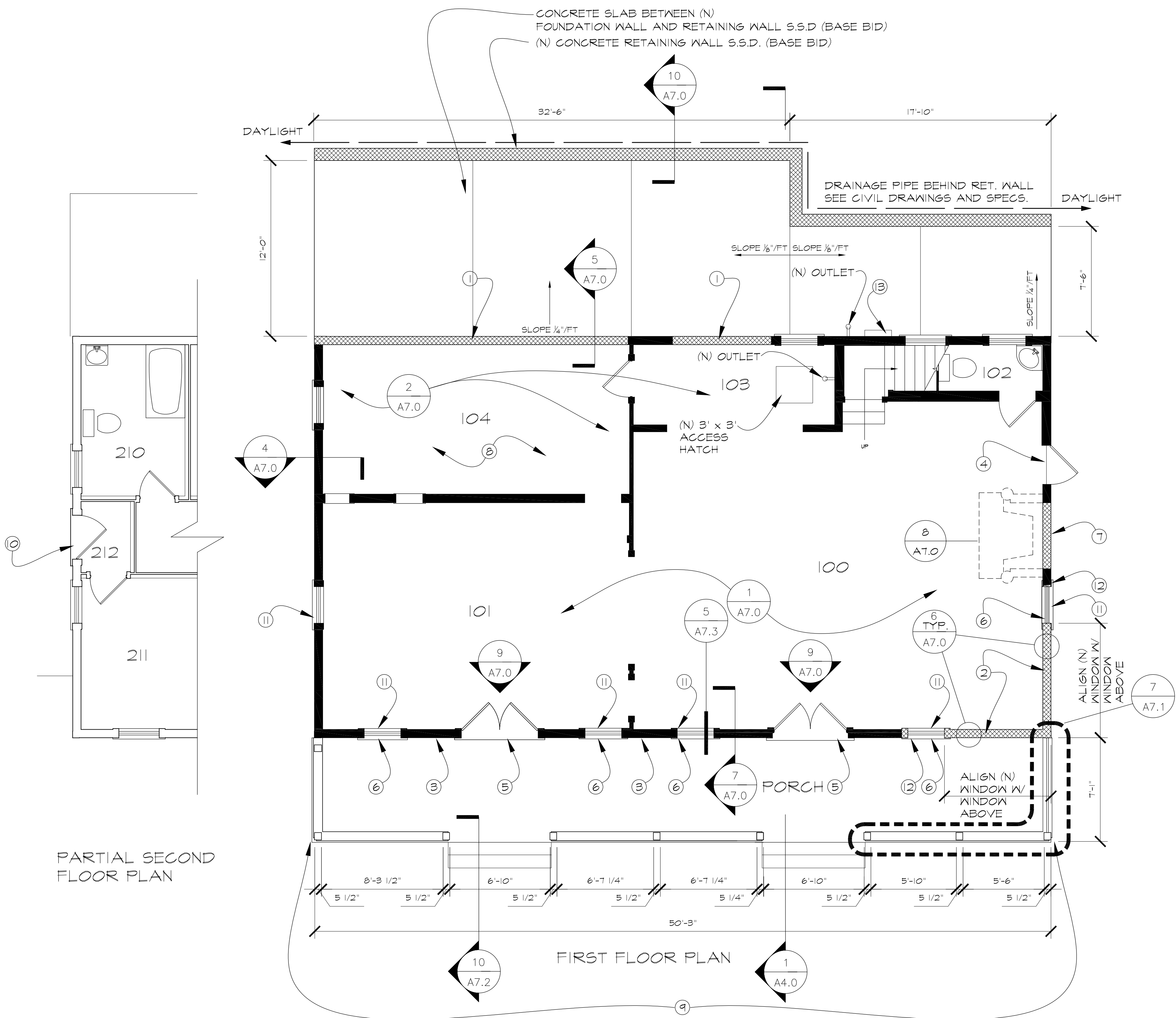
**DECON PLAN
MOTEL**

DATE:	8-10-09
DRAWN:	C.M.
CHECKED:	C.D.
PROJECT NO.:	26183
SCALE:	AS NOTED

DRAWING NO.:

A1.3

FULL-SIZE, 22x34 HALF-SIZE, 11x17
SHEET OF



KEY NOTES

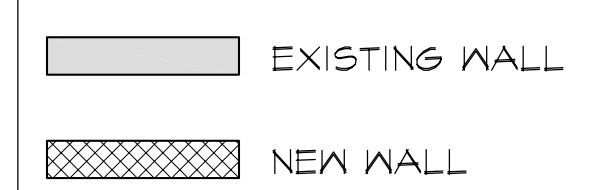
- ① REFRAME SOUTH EXTERIOR WALL TO RESTORE BEARING. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. S.S.D. OR EXISTING.
- ② REFRAME NORTHWEST CORNER PICTURE WINDOWS AT PORCH TO RESTORE BEARING. ROUGH FRAME OPENINGS BASED ON HISTORIC WINDOW LOCATIONS AND DIMENSIONS. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN DROP SIDING TO MATCH EXISTING. S.S.D.
- ③ INSPECT VERTICAL REDWOOD SUB-SHEATHING. IF REQUIRED REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD WITH WOOD SIDING TO MATCH EXISTING.
- ④ REPLACE EXISTING DOOR AT SOUTHWESTERN CORNER OF BUILDING WITH A TEMPORARY SOLID WOOD CORE, EXTERIOR GRADE, VANDAL RESISTANT DOOR AND LOCKING SYSTEM TO PROVIDE SECURE, PRIMARY ACCESS TO BUILDING. SLAVAGE AND STORE EXISTING DOOR FOR RE-USE.
- ⑤ CLOSE AND SECURE EXISTING DOUBLE DOORS. MOUNT PLYWOOD PROTECTION ON EXTERIOR SIMILAR TO EXISTING WINDOW PROTECTION. (SEE DET. 3/A7.0) SECURE DOORS FROM INTERIOR (SEE DET. 4/A7.0)
- ⑥ COVER AND FLASH NEW WINDOW OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING WINDOW PROTECTION. (BASE BID).
- ⑦ FIREBOX REMOVAL WILL LEAVE A GAP IN THE WEST WALL. INSTALL TEMPORARY FRAMING TO RESTORE BEARING. CLAD OPENING WITH PLYWOOD SHEATHING AND NEW REDWOOD SIDING TO MATCH EXISTING.
- ⑧ ROOM 104: REFRAME DETERIORATED FLOOR JOISTS. INSTALL PLYWOOD SUB-FLOORING. TOP OF PLYWOOD SUBFLOOR TO MATCH TOP OF EXISTING SUBFLOOR. FINISHED FLOOR INSTALL IN A FUTURE PHASE. COORDINATE WITH STRUCTURAL DRAWINGS.

- ④ ALTERNATE ONE: RECONSTRUCT THE FRONT PORCH PER 1930'S ERA HISTORIC PHOTOGRAPHS AND AS SHOWN IN THE DRAWINGS. REPAIR AND / OR REPLACE THE WOOD SIDING.
- ⑩ CLOSE EXISTING DOOR AND REPAIR/REPLACE EXISTING EXTERIOR WOOD CLADDING COVERING DOOR.
- ⑪ ALTERNATE 3 - INSTALL TEMPORARY DOUBLE-HUNG WOOD WINDOW. FIELD VERIFY R.O. DIMENSIONS AND UNIT SIZE BEFORE ORDERING.
- ⑫ ALIGN HEAD OF (N) WINDOW WITH HEAD OF (E) 1ST FLR WINDOWS. ALIGN JAMB OF (N) WINDOWS WITH JAMB OF (E) 2ND FLR WINDOW.
- ⑬ RELOCATE EXISTING POWER LINE FROM MOTEL TO SOUTHWEST CORNER OF INN. RECONNECT TO (N) STAINLESS STEEL OUTDOOR TYPE ELECTRICAL PANEL, METER AND WEATHERHEAD SUITABLE FOR MARINE ENVIRONMENT.

GENERAL NOTES

- 1. SEE STRUCTURAL DRAWINGS FOR SEISMIC RETROFIT AND FRAMING INFORMATION.
- 2. LIFT THE BUILDING THREE FEET ABOVE THE FINISHED FLOOR ELEVATION. S.S.D.
- 3. PREP, PRIME AND PAINT ALL EXTERIOR WOOD ELEMENTS. SEE SPECS.

LEGEND



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CONSULTANT:

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NAVARRO, CALIFORNIA

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REVISED 100% CD SET	2-15-10
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STAMP:

DRAWING TITLE:
FLOOR PLAN

DATE:	8-10-09
DRAWN:	C.M.
CHECKED:	C.D.
PROJECT NO.:	26183
SCALE:	AS NOTED

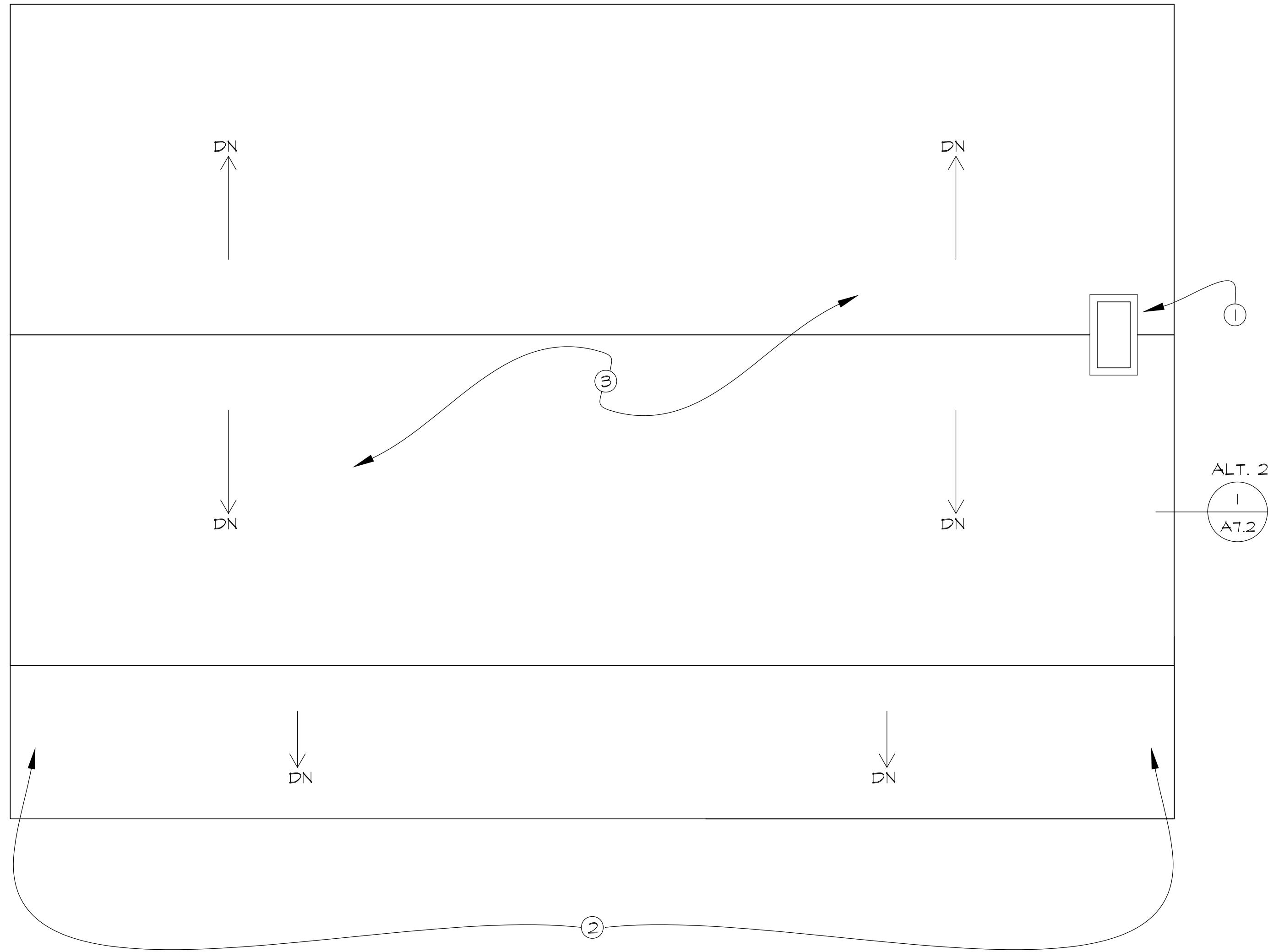
DRAWING NO.:

A2.1

□ FULL-SIZE, 22x34 □ HALF-SIZE, 11x17
 SHEET OF

① FIRST FLOOR AND PARTIAL SECOND FLOOR (EAST) PLAN
 SCALE: 1/4"=1'-0"





1 ROOF PLAN
SCALE: 1/4"=1'-0"



GENERAL NOTES

I. N/A

KEY NOTES

- ① BASE BID: PATCH OPENING LEFT BY CHIMNEY STACK REMOVAL. CLOSE HEADED OPENING WITH TEMPORARY 2X4 FRAMING. ATTACH NEW TEMPORARY PLYWOOD SHEATHING AND COVER WITH CORRUGATED SHEET METAL ROOFING TO MATCH EXISTING. ATTACH SHEET METAL RIDGE FLASHING AND LAP OVER EXISTING RIDGE.
- ② ALTERNATE ONE: RECONSTRUCT FRONT PORCH PER 1930s ERA HISTORIC PHOTOGRAPHS AND AS SHOWN IN THE DRAWINGS. REPAIR AND/OR REPLACE THE WOOD SIDING IN THE FRONT (NORTH) ELEVATION.
- ③ ALTERNATE TWO: REMOVE EXISTING ROOF AND REPLACE DETERIORATED JOISTS. INSTALL NEW PLYWOOD SHEATHING. INSTALL NEW ASPHALT SHINGLE ROOF. S.S.D.

LEGEND

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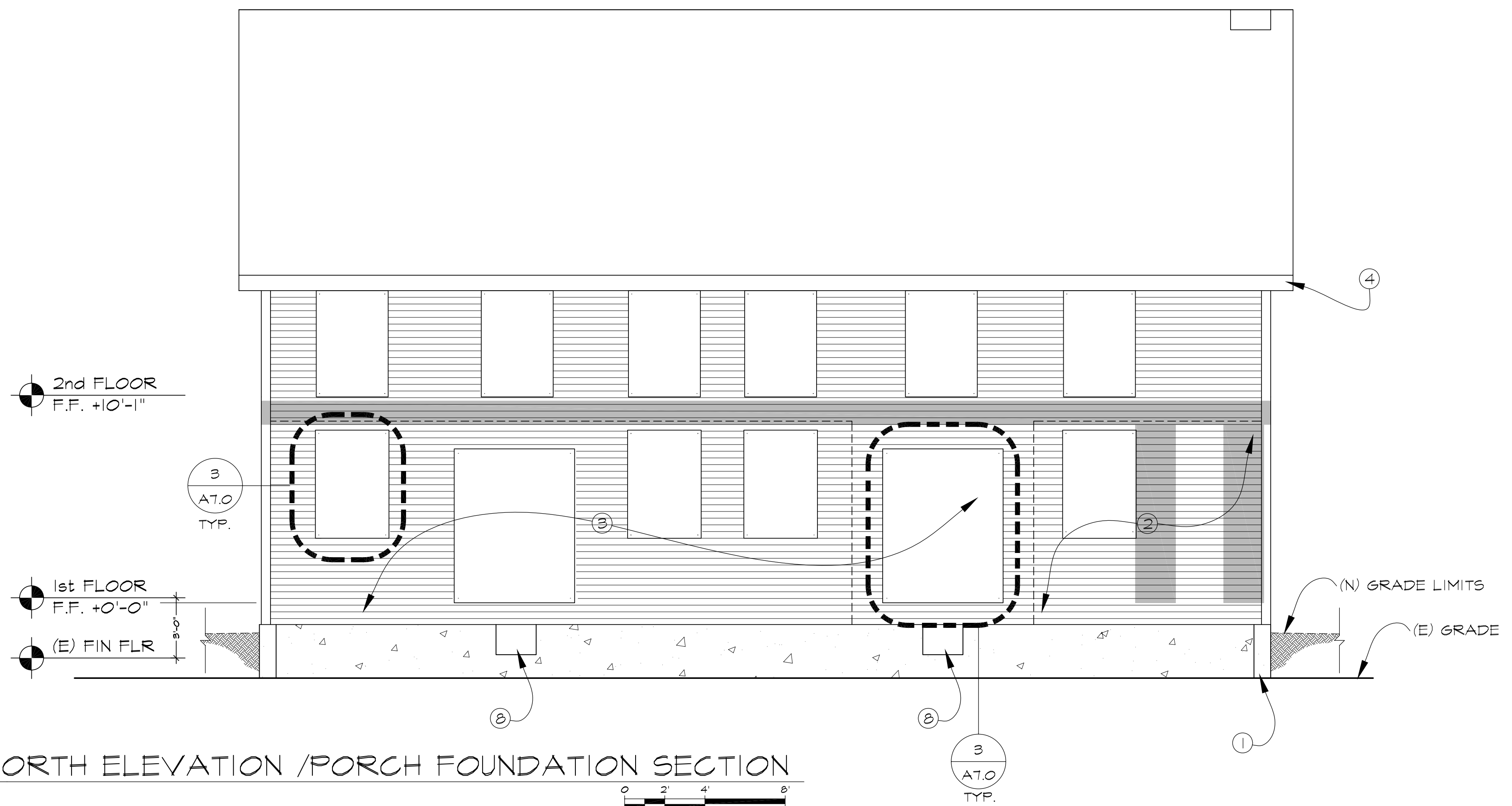
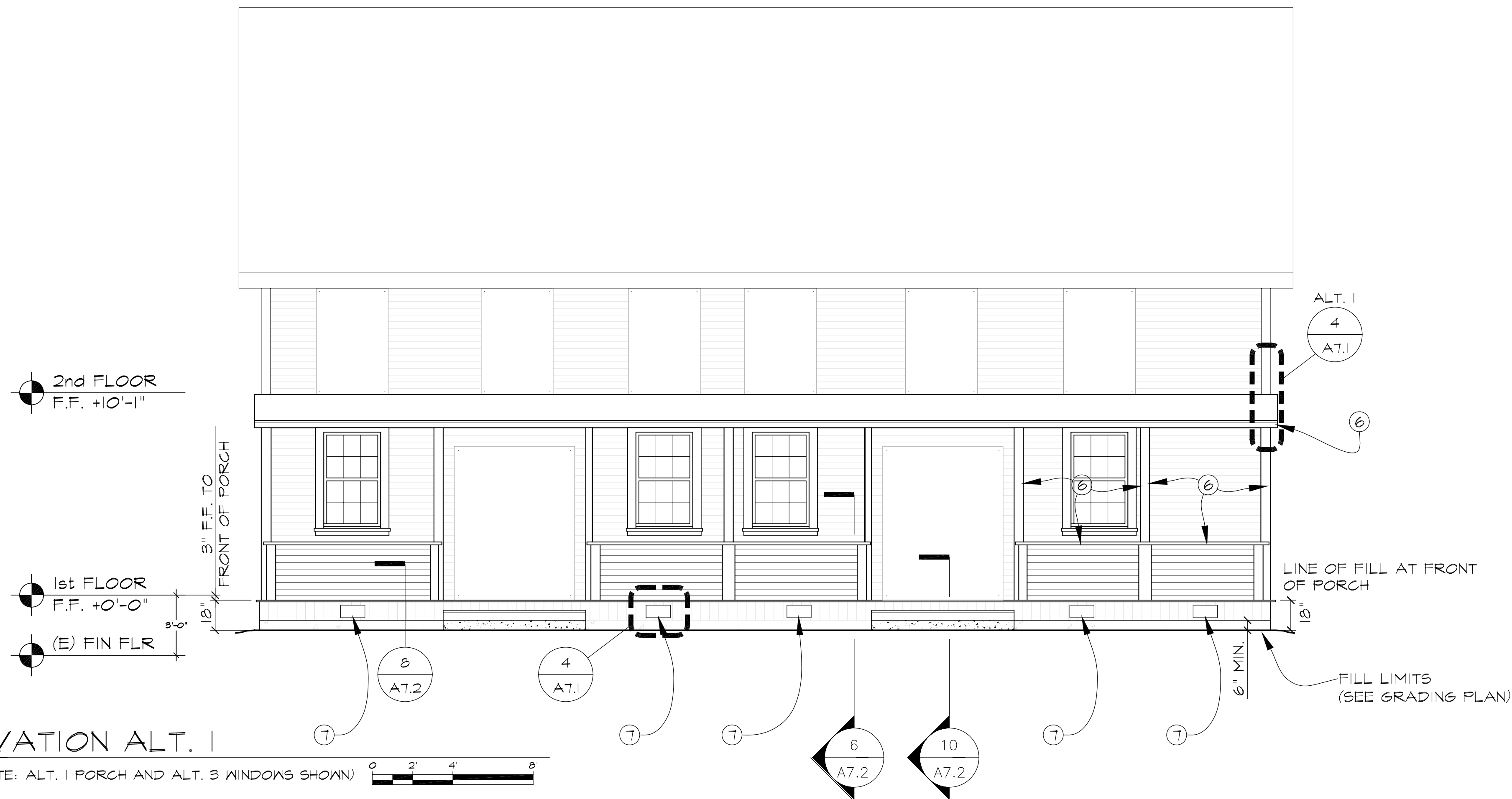
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DRAWING TITLE:
ROOF PLAN
INCLUDES ALT. #1

DATE: 8-10-09
DRAWN: C.M.
CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:
A2.2
 FULL-SIZE, 22x34
 HALF-SIZE, 11x17
 SHEET OF



GENERAL NOTES

1. INSTALL NEW IN-KIND WOOD SIDING TO REPLACE MATERIAL LOST TO DETERIORATION. REPLACE DETERIORATED VERTICAL SUB-SHEATHING IN-KIND TO MATCH EXISTING HISTORIC SUB-SHEATHING. SEE SPECIFICATION GENERAL WOOD RESTORATION FOR REPAIR/REPLACEMENT CRITERIA.
2. SEE STRUCTURAL DRAWINGS FOR SEISMIC RETROFIT AND FRAMING INFORMATION
3. PREP, PRIME, AND PAINT ALL EXTERIOR WOOD ELEMENTS.

KEY NOTES

1. LIFT THE BUILDING THREE FEET ABOVE THE EXISTING FINISHED FLOOR ELEVATION. S.S.D.
2. REFRAME NORTHWEST CORNER PICTURE WINDOWS AT PORCH TO RESTORE BEARING. FRAME OPENINGS BASED ON HISTORIC WINDOW LOCATIONS. CLOSE SHEATH NEW REFRAMED WALL OPENINGS AROUND REPLACEMENT WINDOW IN WITH FINAL VERTICAL REDWOOD SUB-SHEATHING IN-KIND. TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. CLAD COVER AND FLASH NEW WINDOW AND DOOR OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING. S.S.D.
3. REMOVE SCORED REDWOOD WALL CLADDING AT THE ORIGINAL NORTH FACING WALL OF THE MAIN BUILDING AT THE DEMOLISHED BAR ADDITION. INSPECT VERTICAL REDWOOD SUB-SHEATHING. IF REQUIRED REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN WOOD SIDING TO MATCH EXISTING. COVER AND FLASH NEW WINDOW OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING.
4. REPAIR EXISTING OR REPLACE MISSING FASCIA AND SOFFITS. ADD SOFFIT VENT (BASE BID).
5. PATCH METAL ROOFING AT CHIMNEY STACK PENETRATION.
6. INSTALL SALVAGED WOOD COLUMNS AND RAIL CAP AT WESTERN END OF PORCH.
7. 7 1/2" x 14 1/2" FOUNDATION VENT
8. INSTALL FOUNDATION VENT OVER 18"x24" PASS-THROUGH. ALIGN CENTERLINE OF PASS-THROUGH OPENING WITH CENTER OF DOOR. S.S.D.
9. ALTERNATE 3 - INSTALL TEMPORARY DOUBLE-HUNG WOOD WINDOW. FIELD VERIFY R.O. DIMENSIONS AND UNIT SIZE BEFORE ORDERING.

LEGEND

LOCATION OF SEISMIC IMPROVEMENT

CLIENTS:

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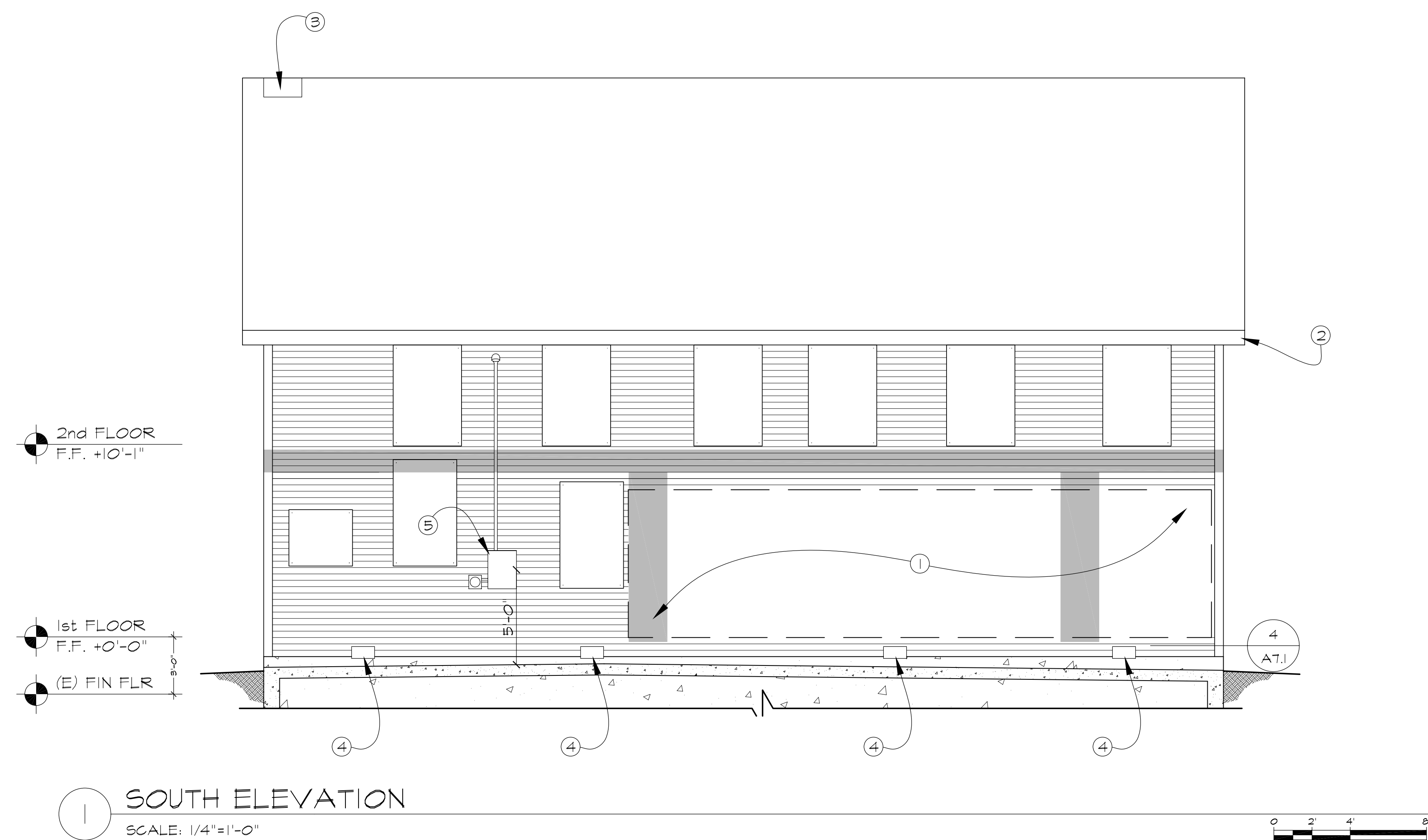
NORTH ELEVATION

DATE:	8-10-09
DRAWN:	C.M.
CHECKED:	C.D.
PROJECT NO.:	26183
SCALE:	AS NOTED

DRAWING NO.:

A3.0

□ FULL-SIZE, 22x34	□ HALF-SIZE, 11x17
SHEET	OF



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

1. INSTALL NEW IN-KIND WOOD SIDING TO REPLACE MATERIAL LOST TO DETERIORATION. REPLACE DETERIORATED VERTICAL SUB-SHEATHING IN-KIND TO MATCH EXISTING HISTORIC SUB-SHEATHING. SEE SPECIFICATION GENERAL WOOD RESTORATION FOR REPAIR/REPLACEMENT CRITERIA.
2. SEE STRUCTURAL DRAWINGS FOR SEISMIC RETROFIT AND FRAMING INFORMATION
3. PREP, PRIME, AND PAINT ALL EXTERIOR WOOD ELEMENTS - SEE SPECS.

KEY NOTES

- 1 REFRAME SOUTH EXTERIOR WALL TO RESTORE BEARING. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN DROP SIDING TO MATCH EXISTING. S.S.D.
- 2 REPAIR EXISTING OR REPLACE MISSING FASCIA AND SOFFITS
- 3 PATCH METAL ROOFING AT CHIMNEY STACK PENETRATION
- 4 7½" x 14½" FOUNDATION VENT
- 5 (N) STAINLESS STEEL METER, OUTDOOR TYPE ELECTRICAL PANEL, AND WEATHERHEAD.

LEGEND

█ LOCATION OF SEISMIC IMPROVEMENT

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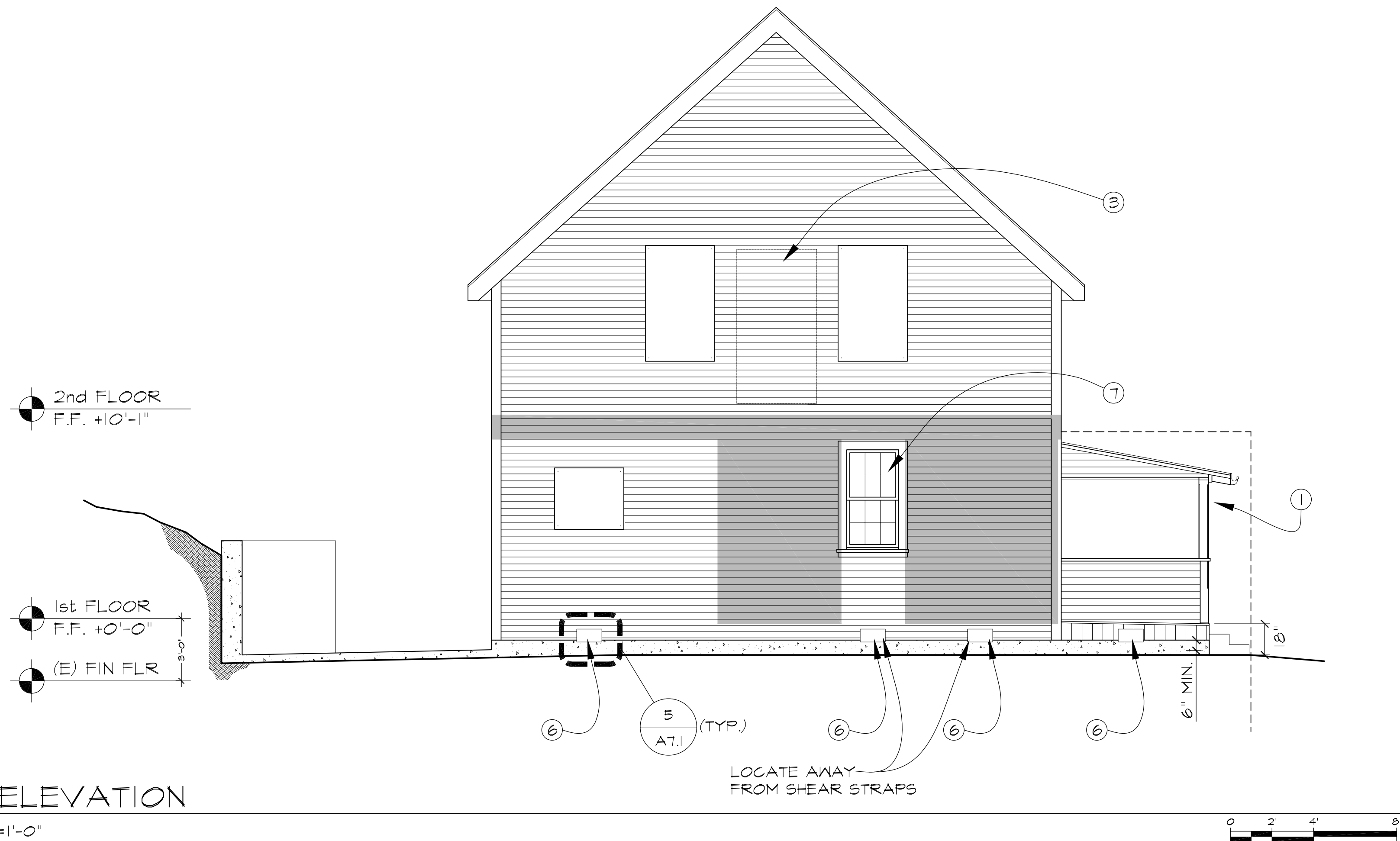
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SOUTH ELEVATION

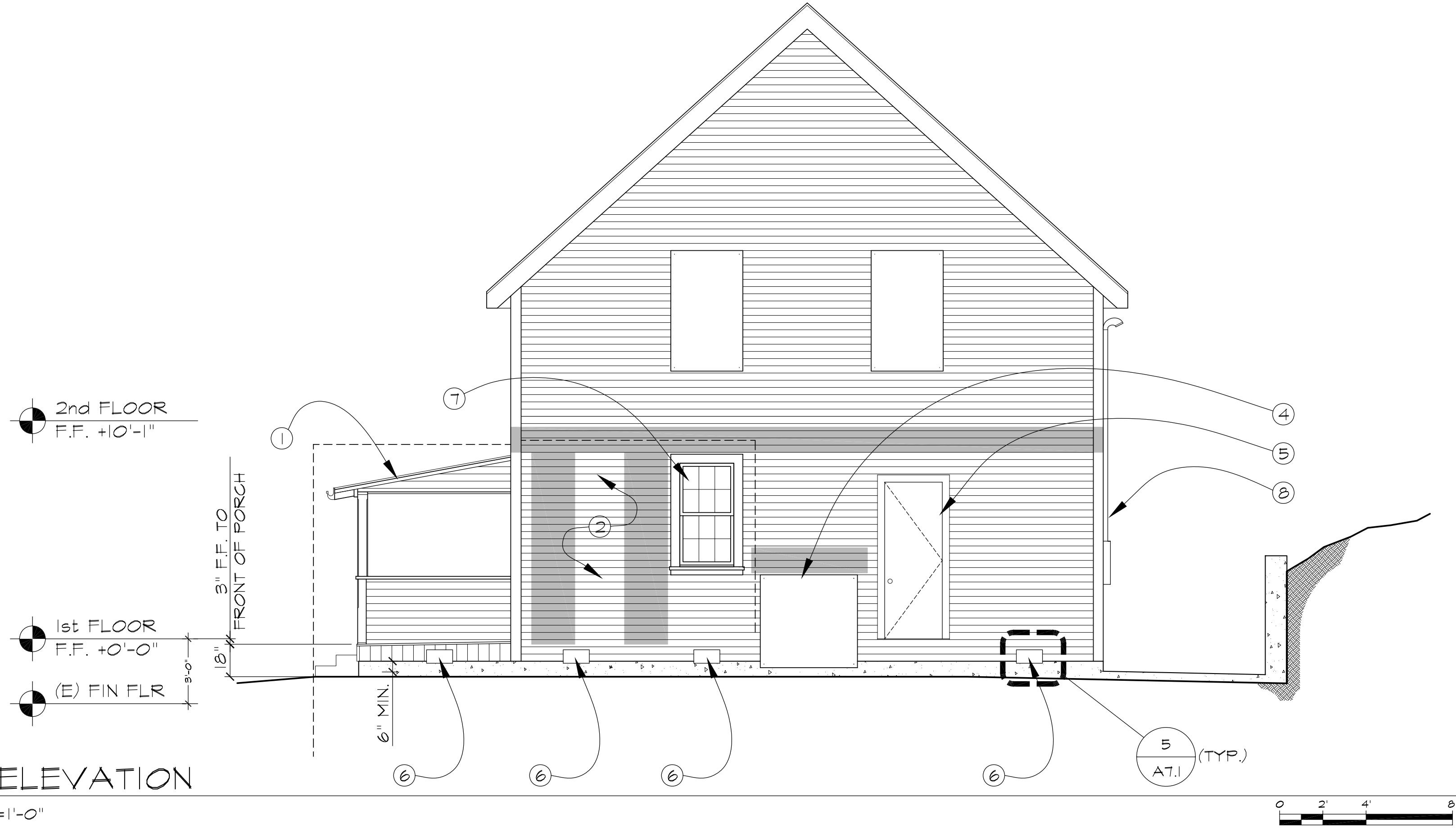
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CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:
A3.1

FULL-SIZE, 22x34
 HALF-SIZE, 11x17
 SHEET OF



2 EAST ELEVATION
SCALE: 1/4"=1'-0"



1 WEST ELEVATION
SCALE: 1/4"=1'-0"

GENERAL NOTES

1. INSTALL NEW IN-KIND DROP SIDING TO REPLACE MATERIAL LOST TO DETERIORATION. REFASTEN LOOSE SIDING THROUGHOUT. REPLACE DETERIORATED VERTICAL SUB-SHEATHING IN-KIND TO MATCH EXISTING HISTORIC SUB-SHEATHING.
2. SEE STRUCTURAL DRAWINGS FOR SEISMIC RETROFIT INFORMATION

KEY NOTES

- 1 ALTERNATE 1 - RECONSTRUCT THE FRONT PORCH PER 1930'S ERA HISTORIC PHOTOGRAPHS AND AS SHOWN IN THE DRAWINGS.
- 2 REFRAME NORTHWEST CORNER PICTURE WINDOWS AT PORCH TO RESTORE BEARING. FRAME OPENINGS BASED ON HISTORIC WINDOW LOCATIONS. SHEATH REFRAMED WALL WITH VERTICAL REDWOOD SUB-SHEATHING TO MATCH EXISTING HISTORIC SUB-SHEATHING. REPLACEMENT BOARDS SPAN FROM FIRST FLOOR SILL PLATE TO SECOND FLOOR TOP PLATE. CLAD IN DROP SIDING TO MATCH EXISTING. COVER AND FLASH NEW WINDOW OPENING IN TEMPORARY EXTERIOR GRADE PLYWOOD CLADDING DESIGN SIMILAR TO EXISTING.
- 3 CLOSE EXISTING DOOR AND REPAIR/REPLACE EXISTING WOOD CLADDING COVERING DOOR.
- 4 FIREBOX REMOVAL WILL LEAVE A GAP IN THE WEST WALL. INSTALL TEMPORARY FRAMING TO RESTORE BEARING. CLAD OPENING WITH EXTERIOR PLYWOOD SHEATHING AND CLAD WALL WITH SIDING TO MATCH EXISTING.
- 5 INSTALL NEW WOOD SECURITY DOOR IN (E) OPENING.
- 6 7/2" x 14/2" FOUNDATION VENT
- 7 TEMPORARY WOOD WINDOWS (ALT. 3)
- 8 (N) STAINLESS STEEL METER, OUTDOOR TYPE ELECTRICAL PANEL, AND WEATHERHEAD.

LEGEND

■ LOCATION OF SEISMIC IMPROVEMENT

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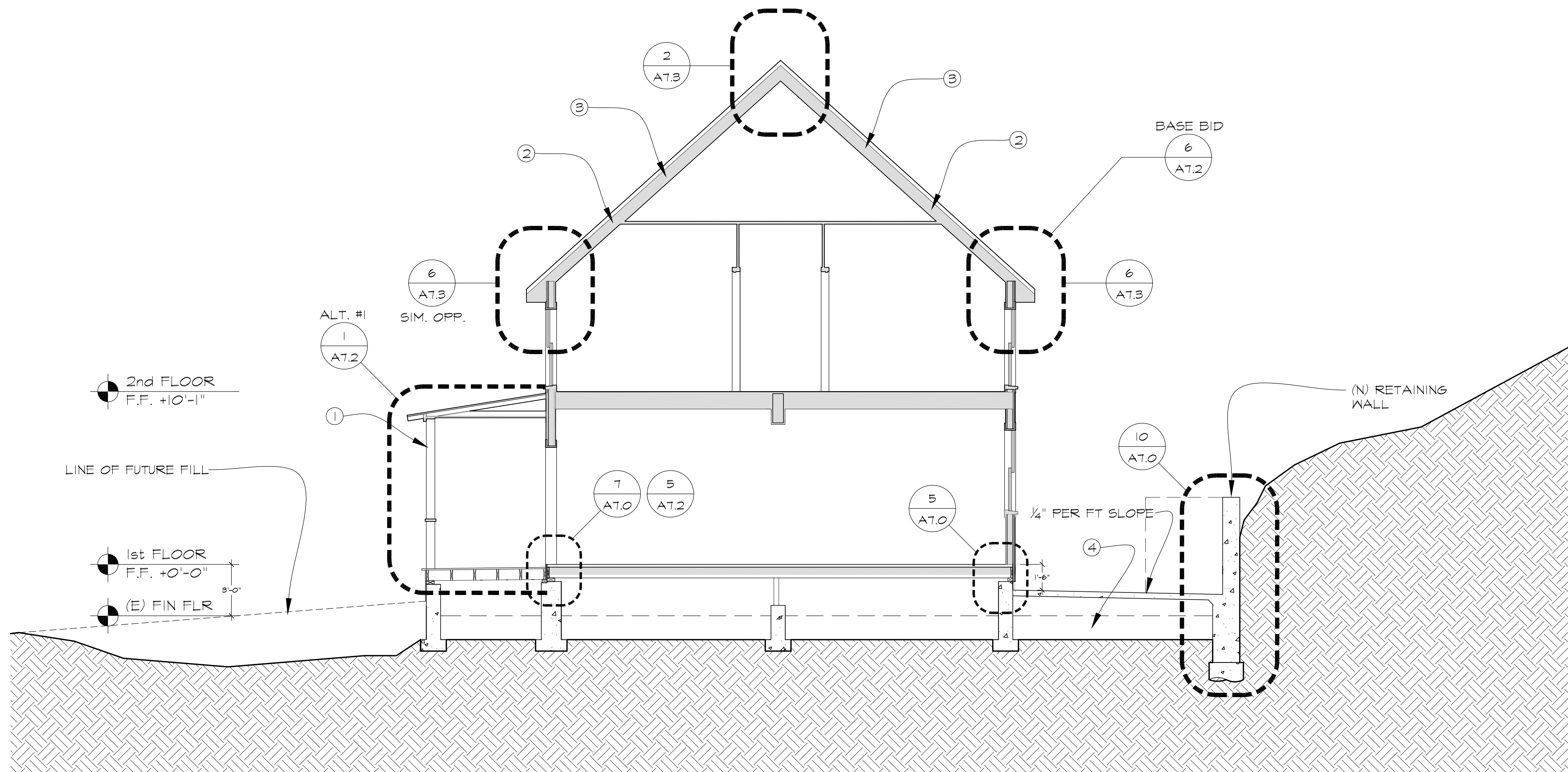
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E & W
ELEVATIONS

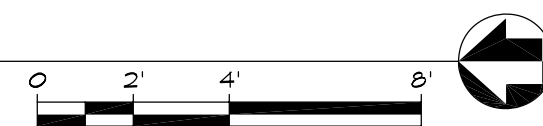
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CHECKED:	C.D.
PROJECT NO.:	26183
SCALE:	AS NOTED

DRAWING NO.:
A3.2

□ FULL-SIZE, 22x34 □ HALF-SIZE, 11x17
SHEET OF



SECTION N-S
SCALE: 1/4"=1'-0"



GENERAL NOTES

1. BASE BID - RAISE BUILDING 3'-0" AND INSTALL NEW FOUNDATIONS PER STRUCTURAL DRAWINGS

KEY NOTES

1. ALT. 1 - RECONSTRUCT THE FRONT PORCH PER 1930'S ERA HISTORIC PHOTOGRAPHS AND AS SHOWN IN THE DRAWINGS
2. ALT. 2 - DEMOLISH TEMPORARY AND OLD ROOFING. INSTALL NEW PLYWOOD SHEATHING OVER (E) SKIP SHEATHING. INSTALL NEW ASPHALT SHINGLE ROOF. S.S.D.
3. ASSUME 25% ROOF RAFTER REPLACEMENT AND DRYROT REPAIR FOR BID PURPOSES.
4. GRAVEL FILL UNDER NEW SLAB. SEE SPECIFICATIONS FOR MATERIAL CONTENT.

LEGEND

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NAVARRO, CALIFORNIA

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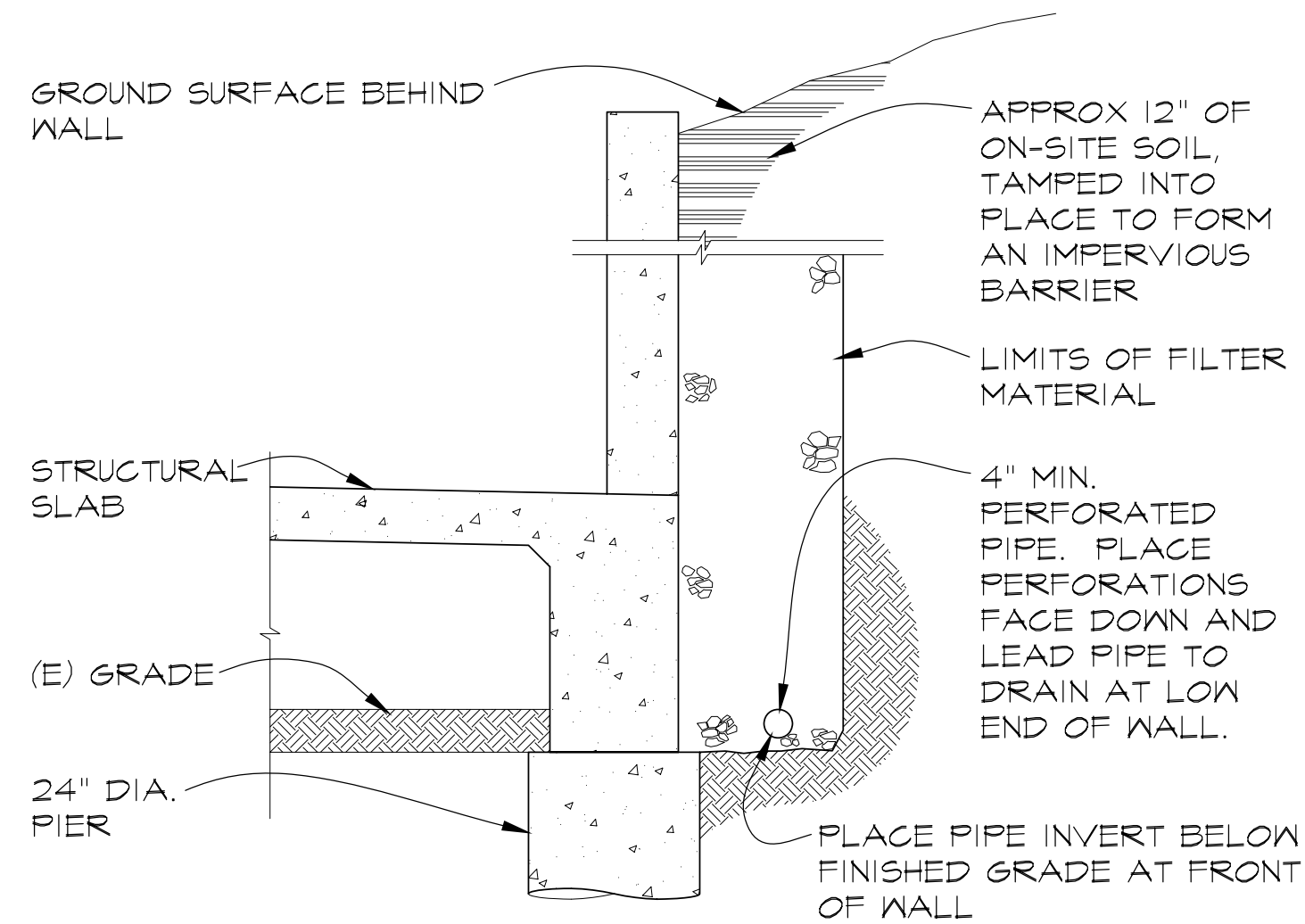
N-S
SECTION

DATE: 8-10-09
DRAWN: C.M.
CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

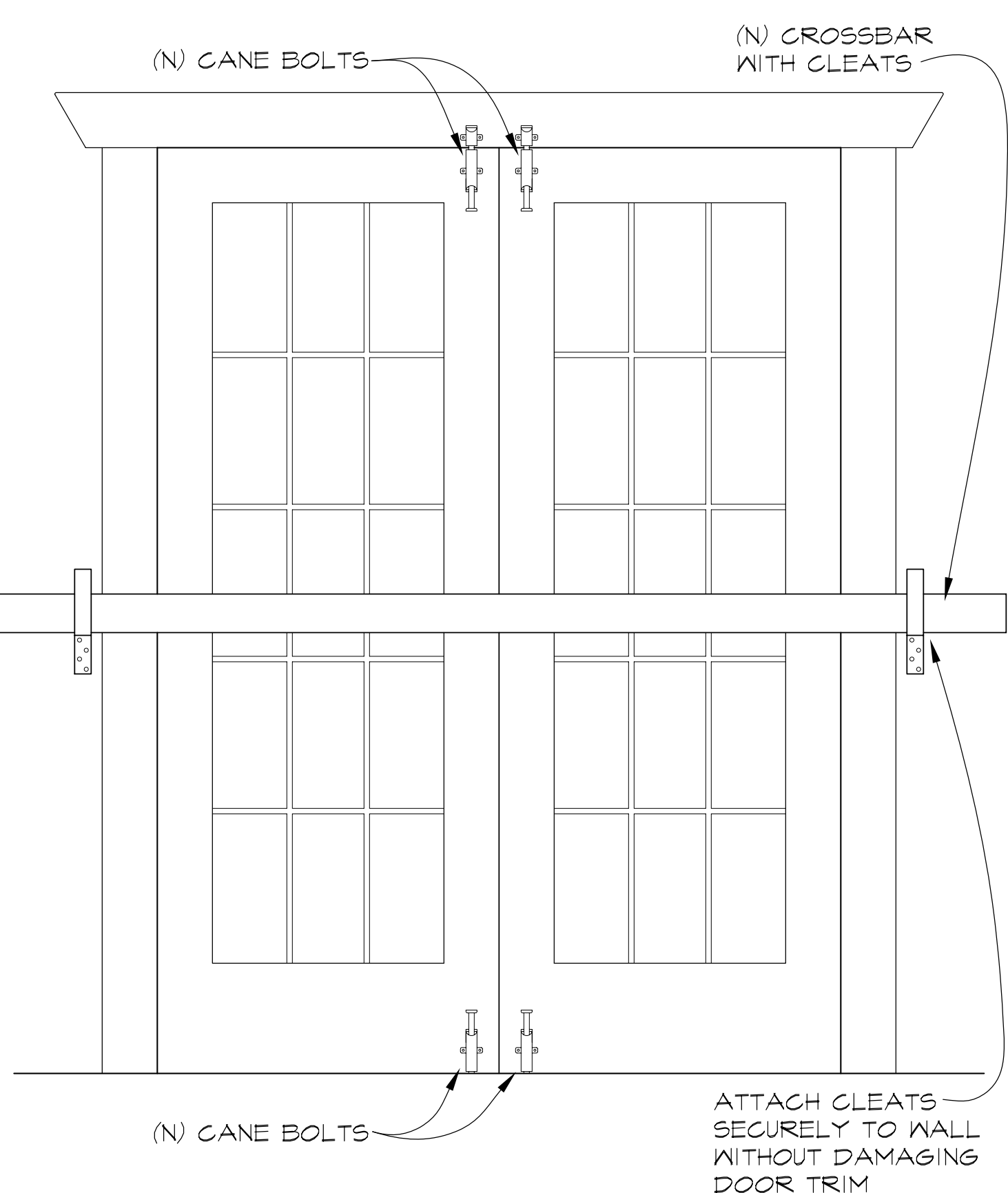
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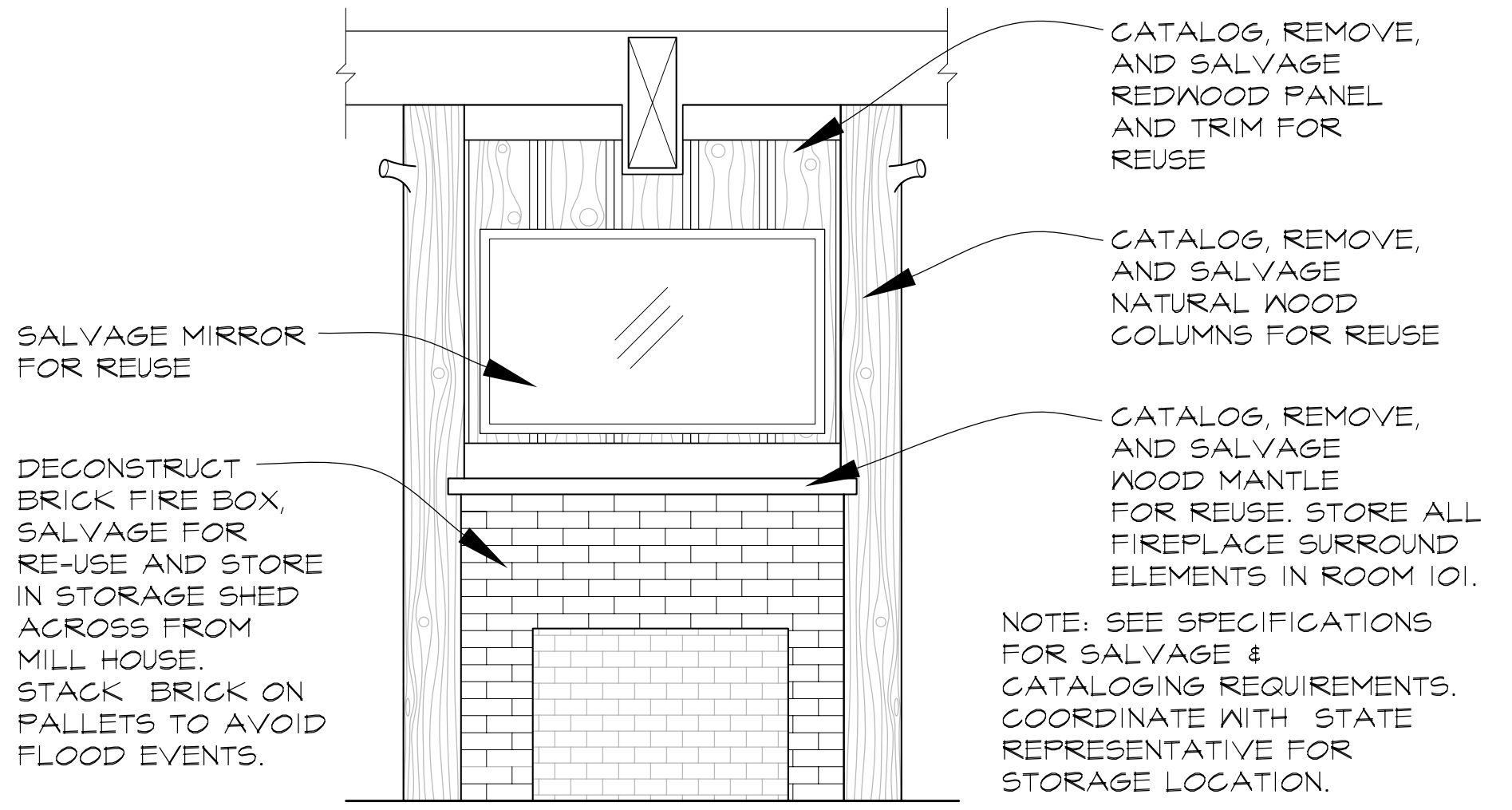
□ FULL-SIZE, 22x34 □ HALF-SIZE, 11x17
SHEET OF



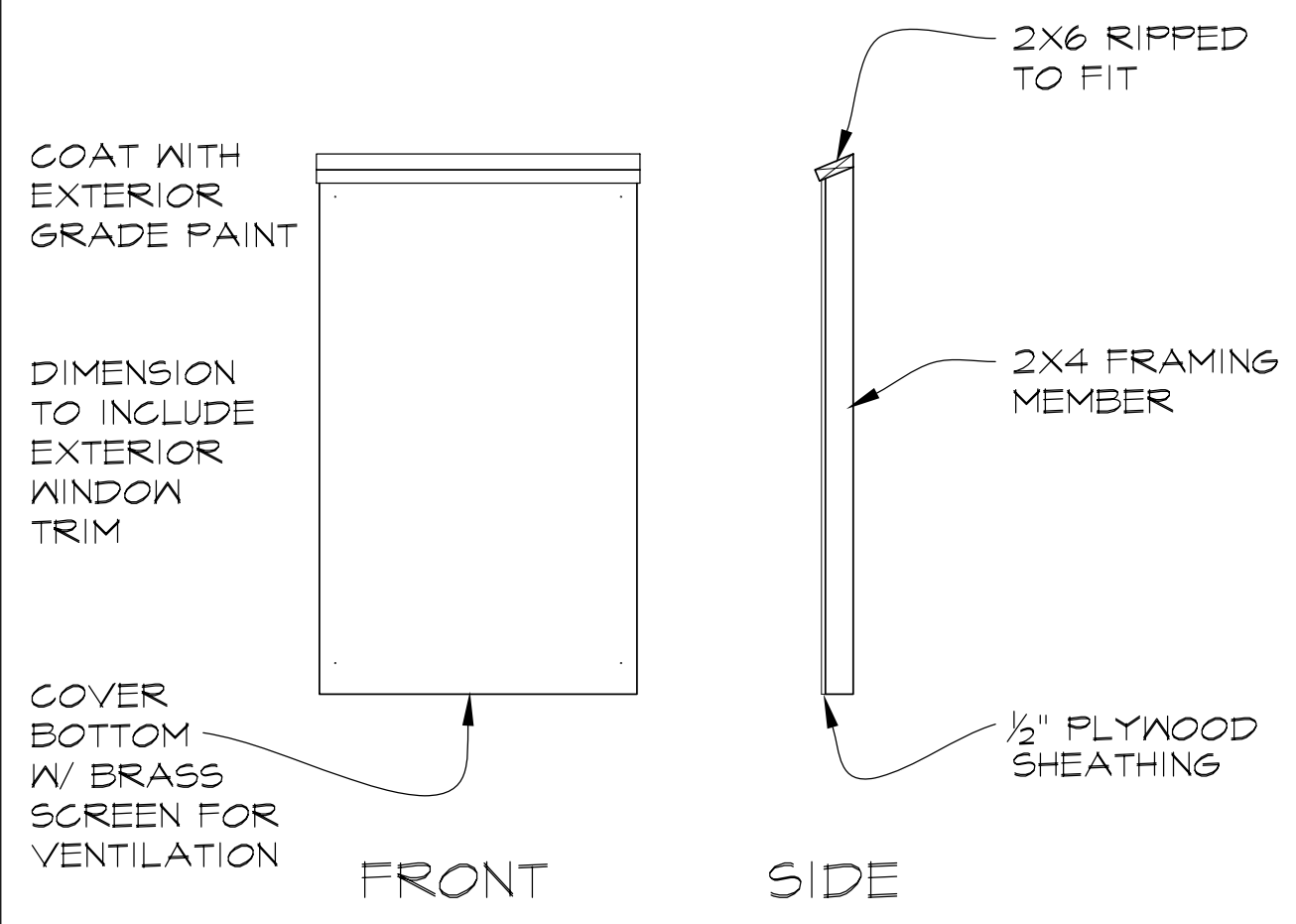
10 RETAINING WALL DRAIN
SCALE: 1/2" = 1'



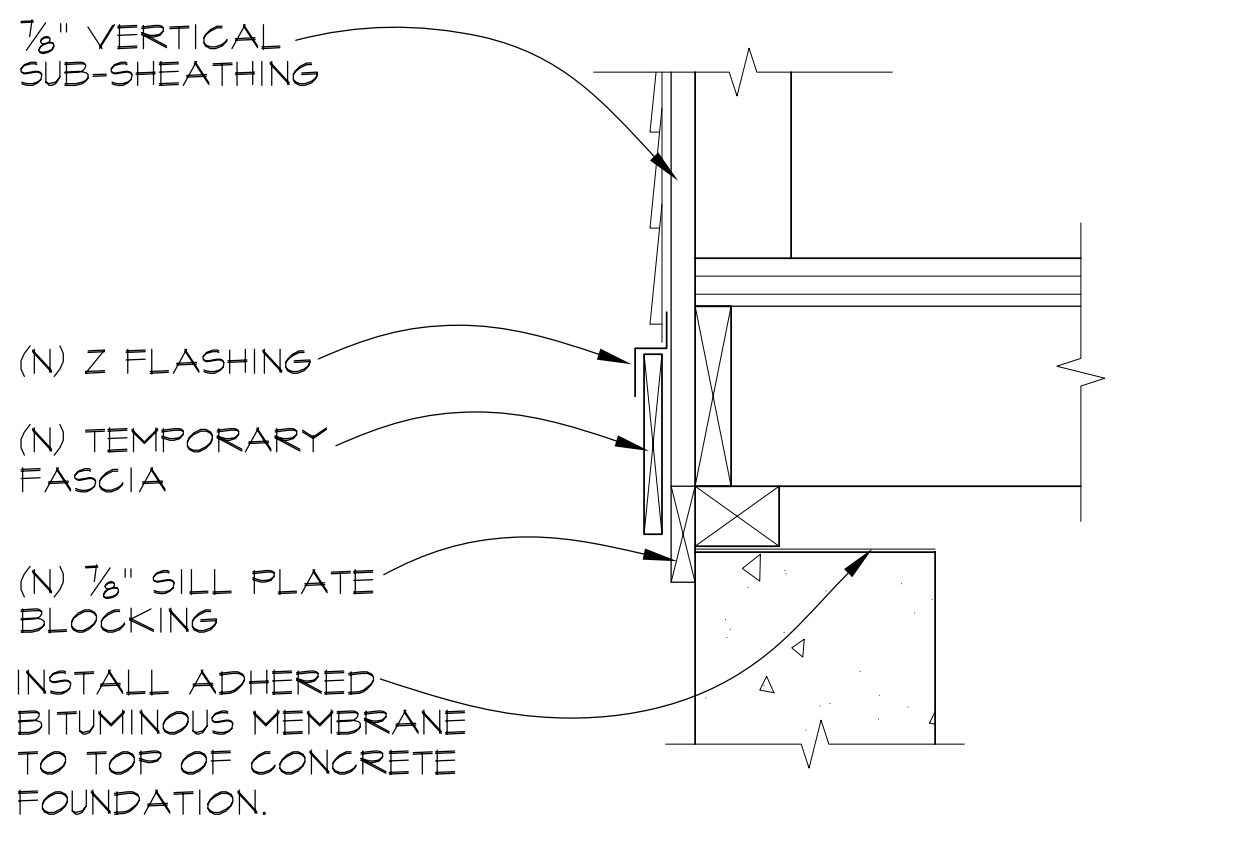
9 SECURE DOOR
SCALE: 1" = 1'-0"



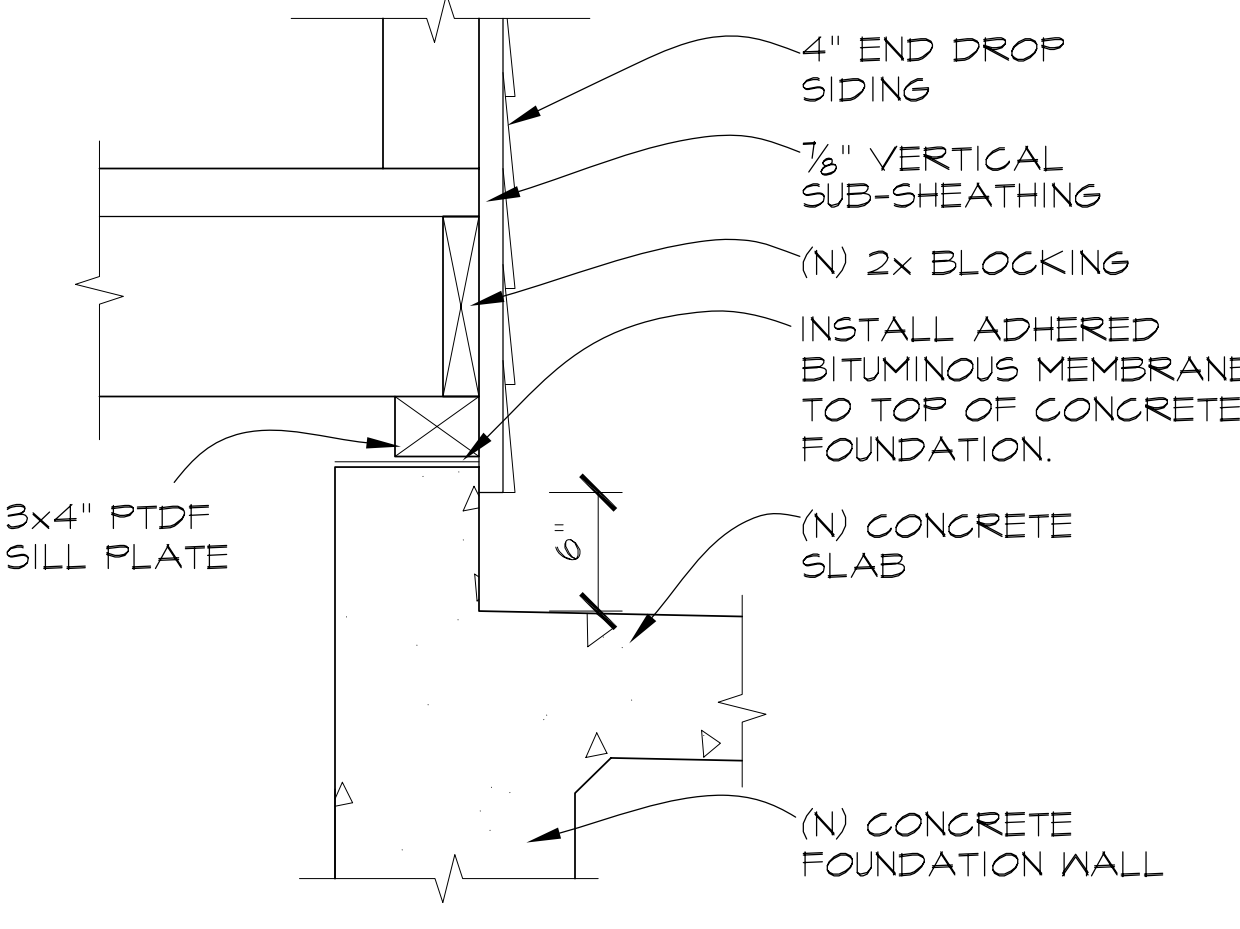
8 FIREPLACE
SCALE: 1/2" = 1'-0"



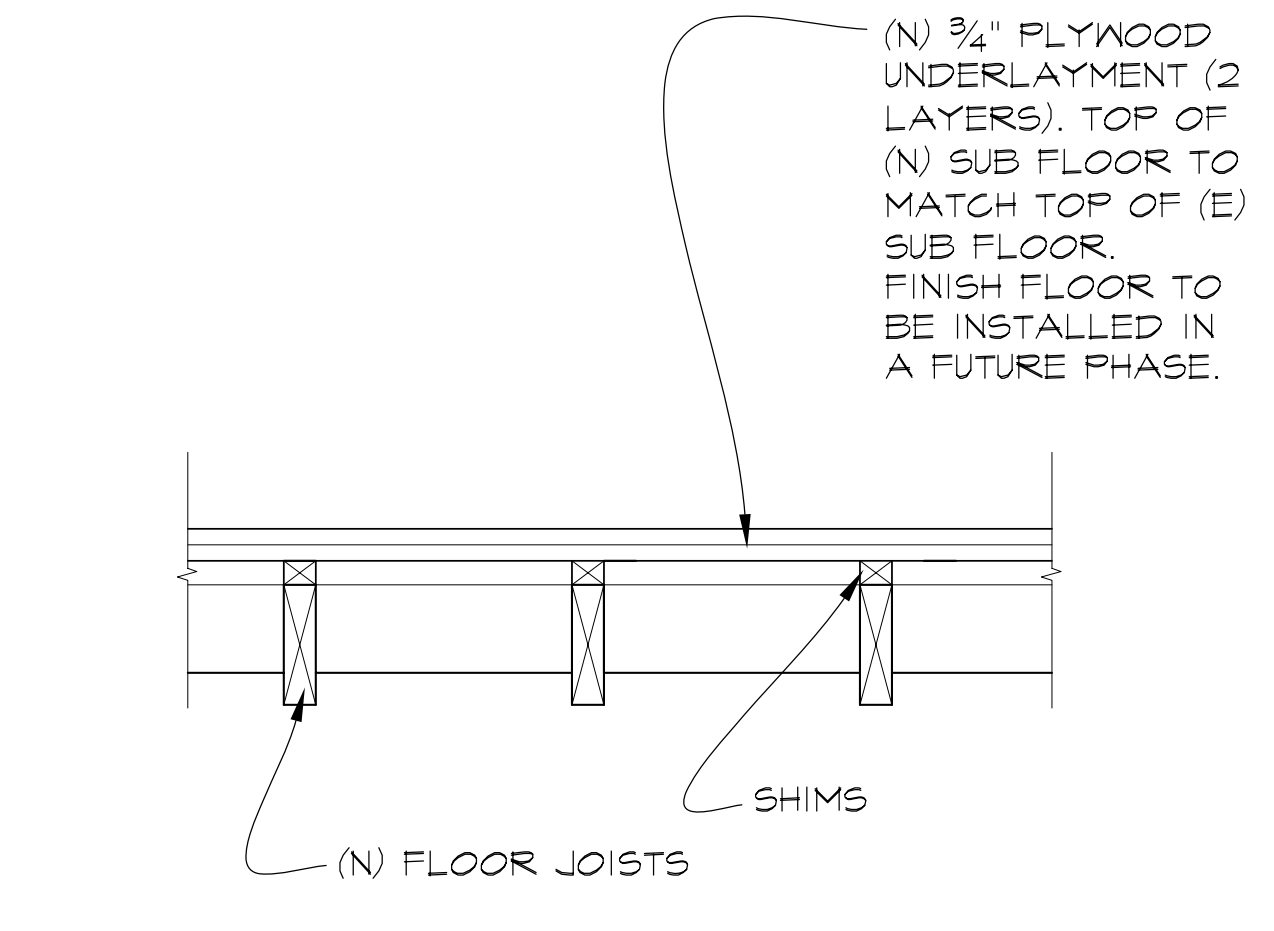
3 TYP. OPENING PROTECT.
SCALE: 1/2" = 1'-0"



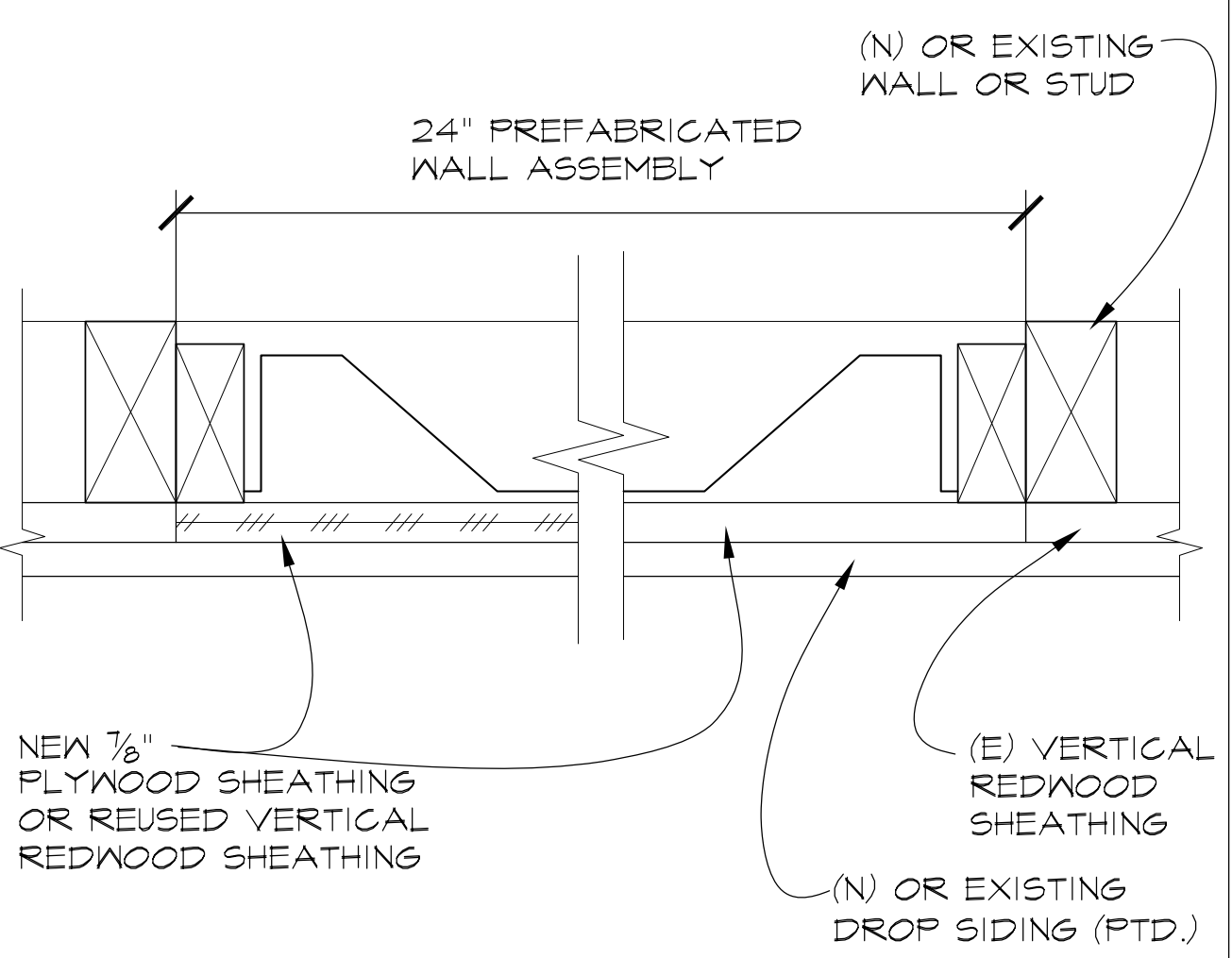
7 NORTH SILL PLATE
SCALE: 1/2" = 1'-0" (BASE BID CONDITION)



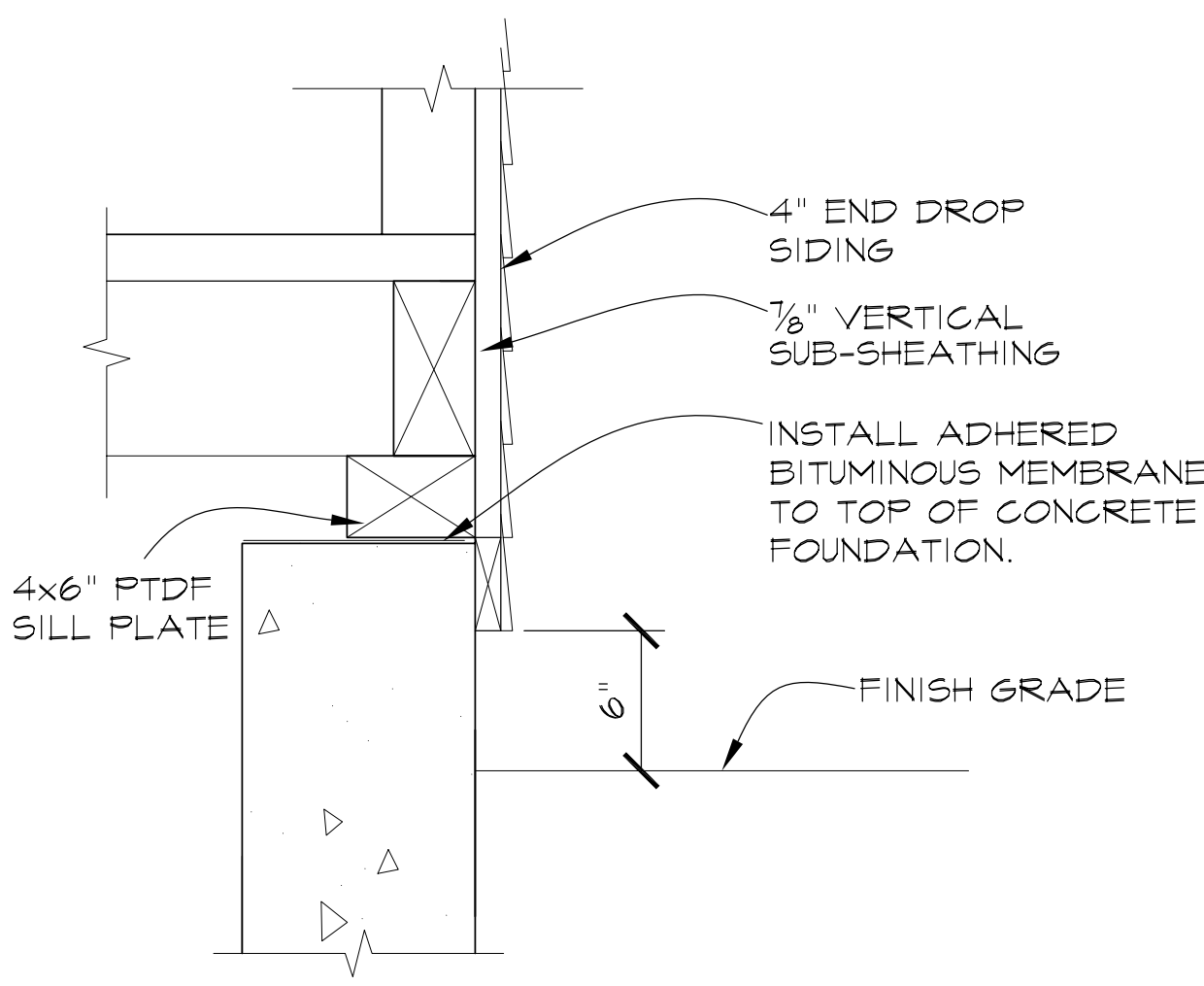
5 SOUTH SILL PLATE
SCALE: 1/2" = 1'-0"



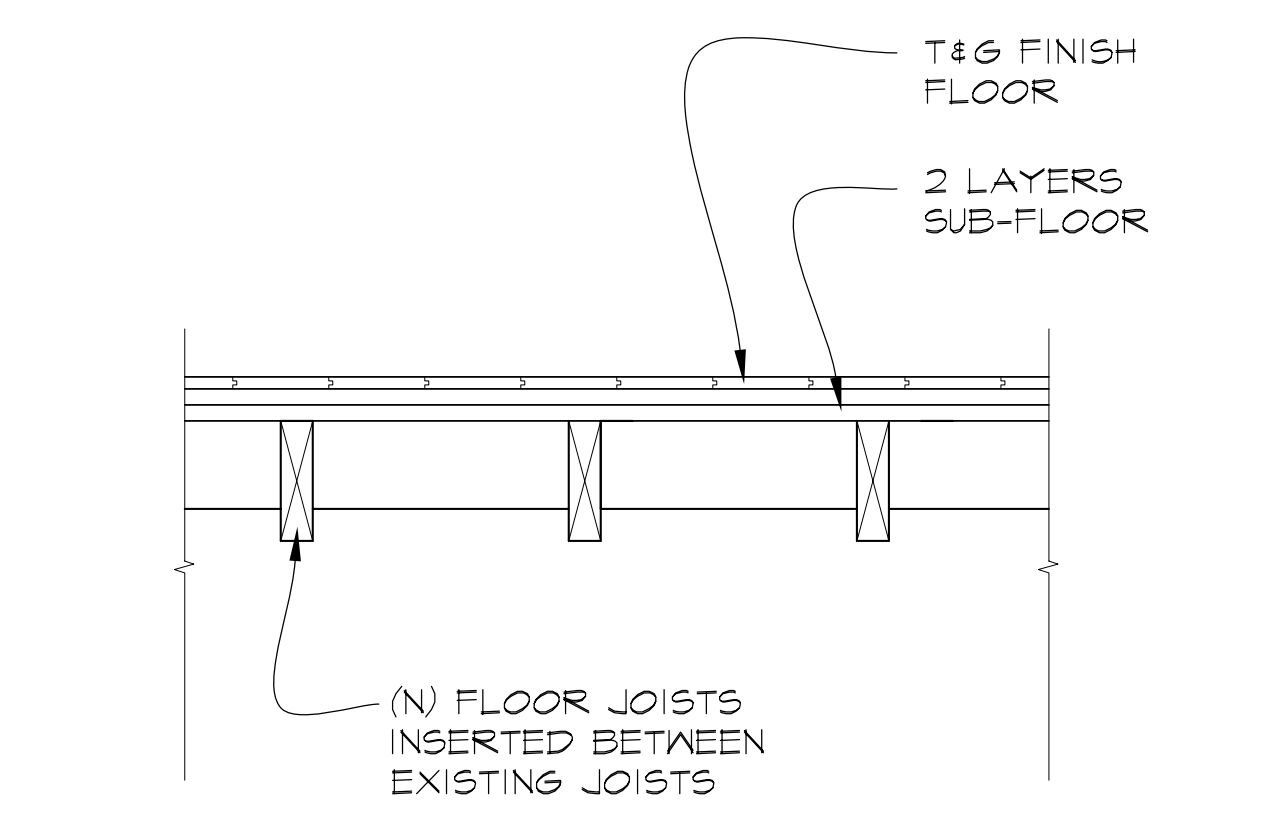
2 FLOOR ASSEMBLY
SCALE: 1" = 1'-0"



6 PLAN DETAIL @ PREFAB. SHEAR WALL
SCALE: 3/8" = 1'-0" S.S.D.



4 EAST SILL PLATE (WEST SIM.)
SCALE: 1/2" = 1'-0"



1 TYP. 1ST FLR. ASSEMBLY
SCALE: 1" = 1'-0"

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CONSULTANT:

NAVARRO INN
 NAVARRO, CALIFORNIA

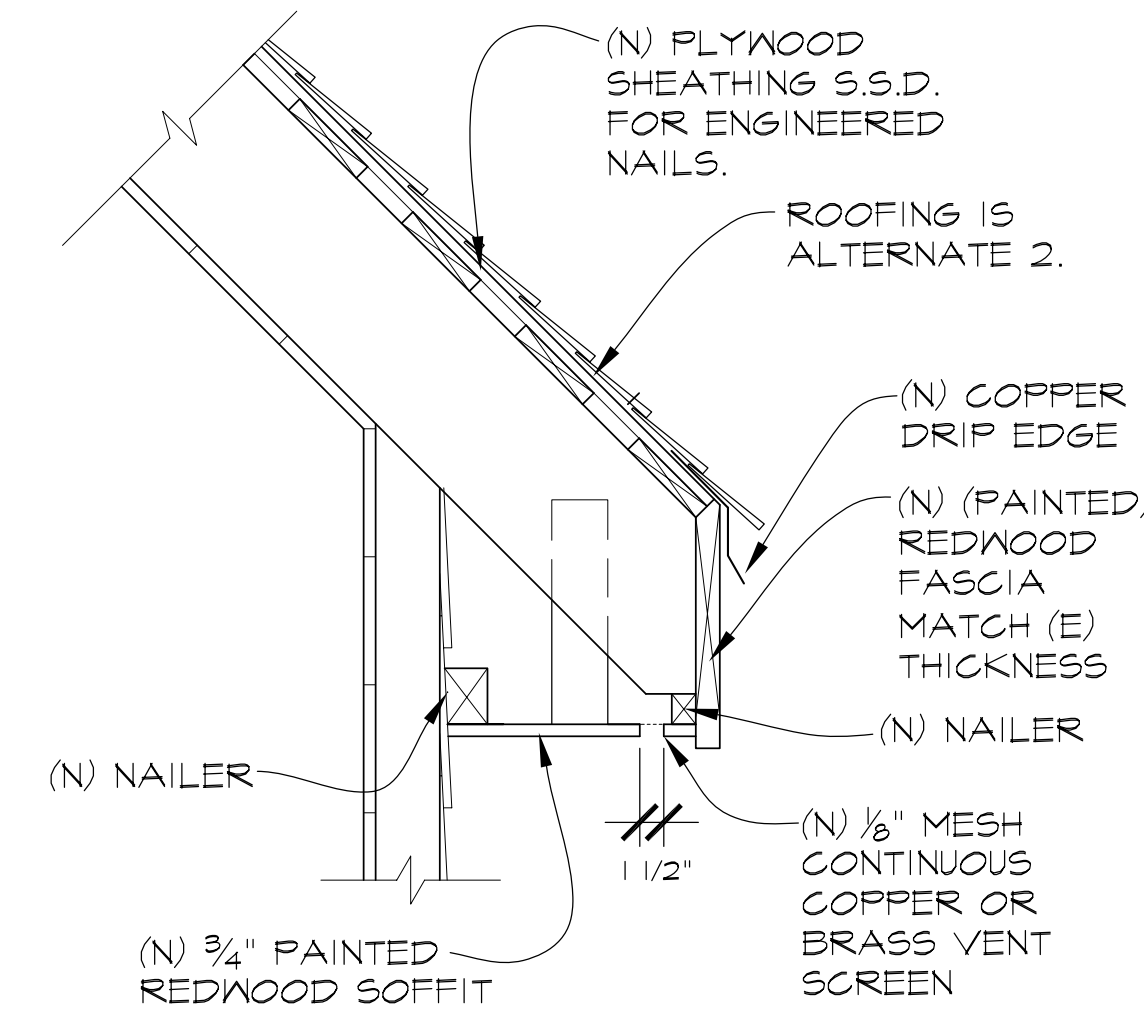
PROGRESS PRINTING SET	11-12-08
75% PROGRESS PRINTING SET	12-19-08
100% C.D. SET	8-10-09
REVISED 100% CD SET	12-14-09
REVISED 100% CD SET	2-15-10
BID DOCUMENTS	05-16-11

STAMP:

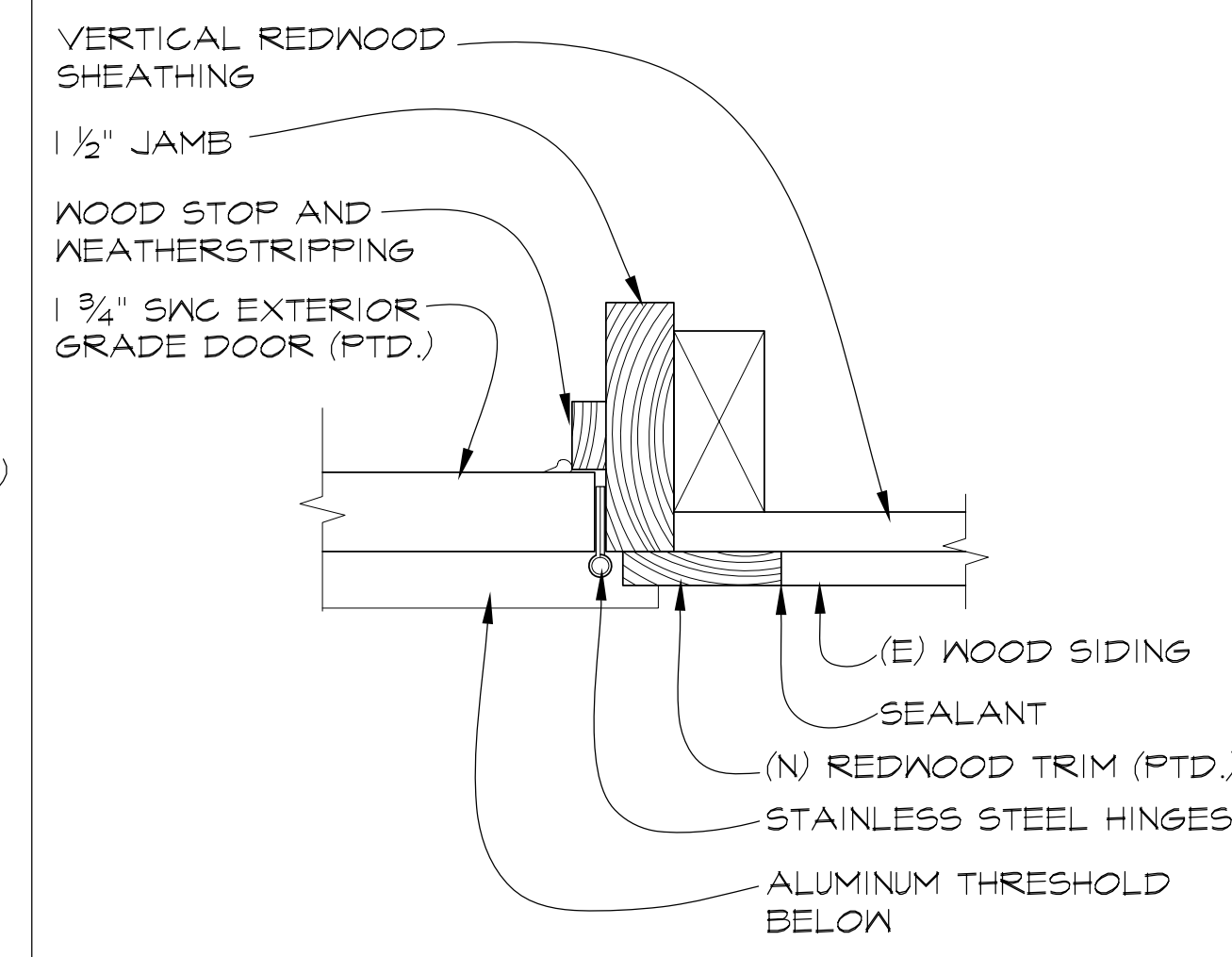
DRAWING TITLE:
BASE BID DETAILS

DATE: 8-10-09
DRAWN: C.M.
CHECKED: C.D.
PROJECT NO.: 26183
SCALE: AS NOTED

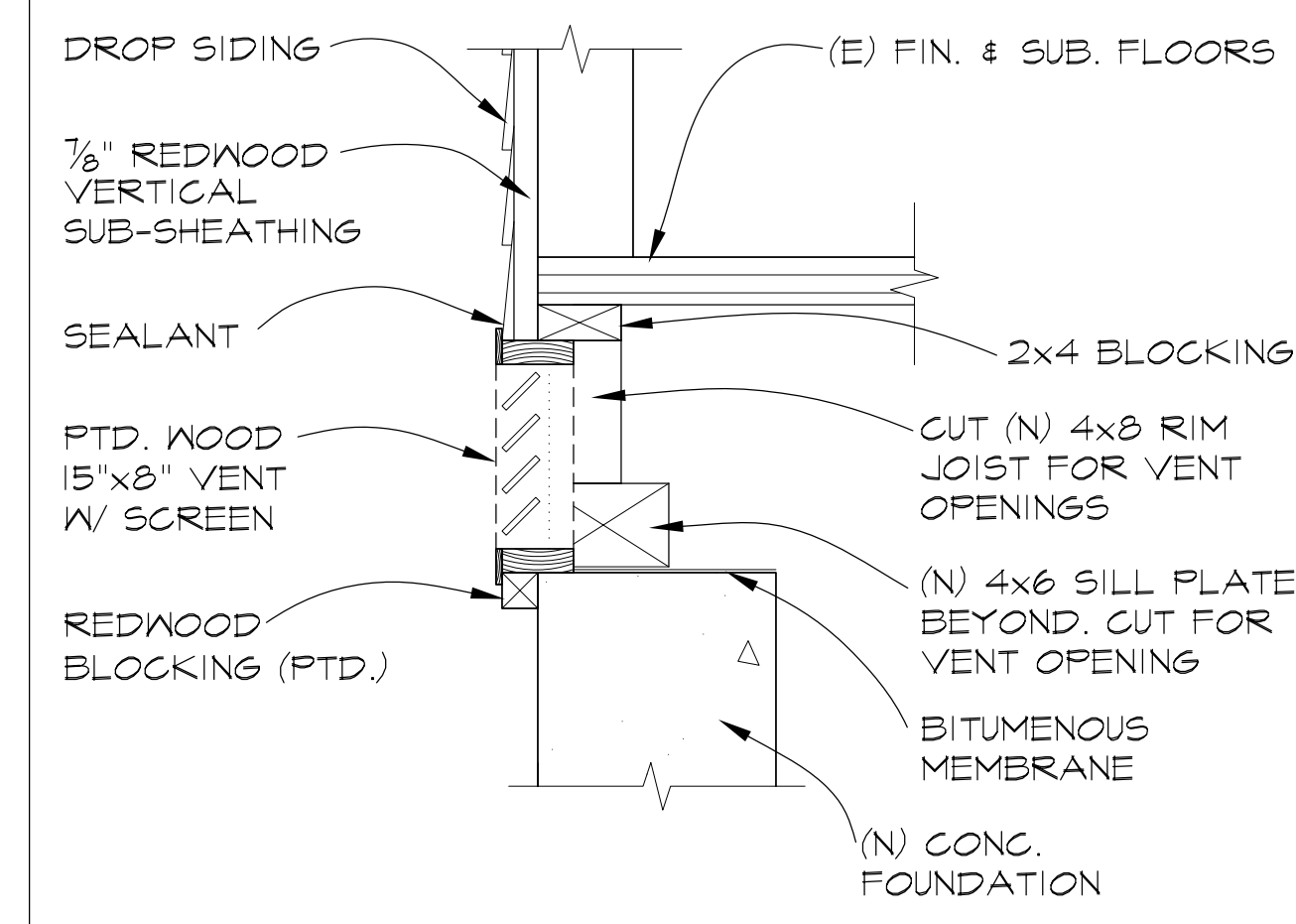
DRAWING NO.:
A7.0
FULL-SIZE, 22x34 HALF-SIZE, 11x17
SHEET OF



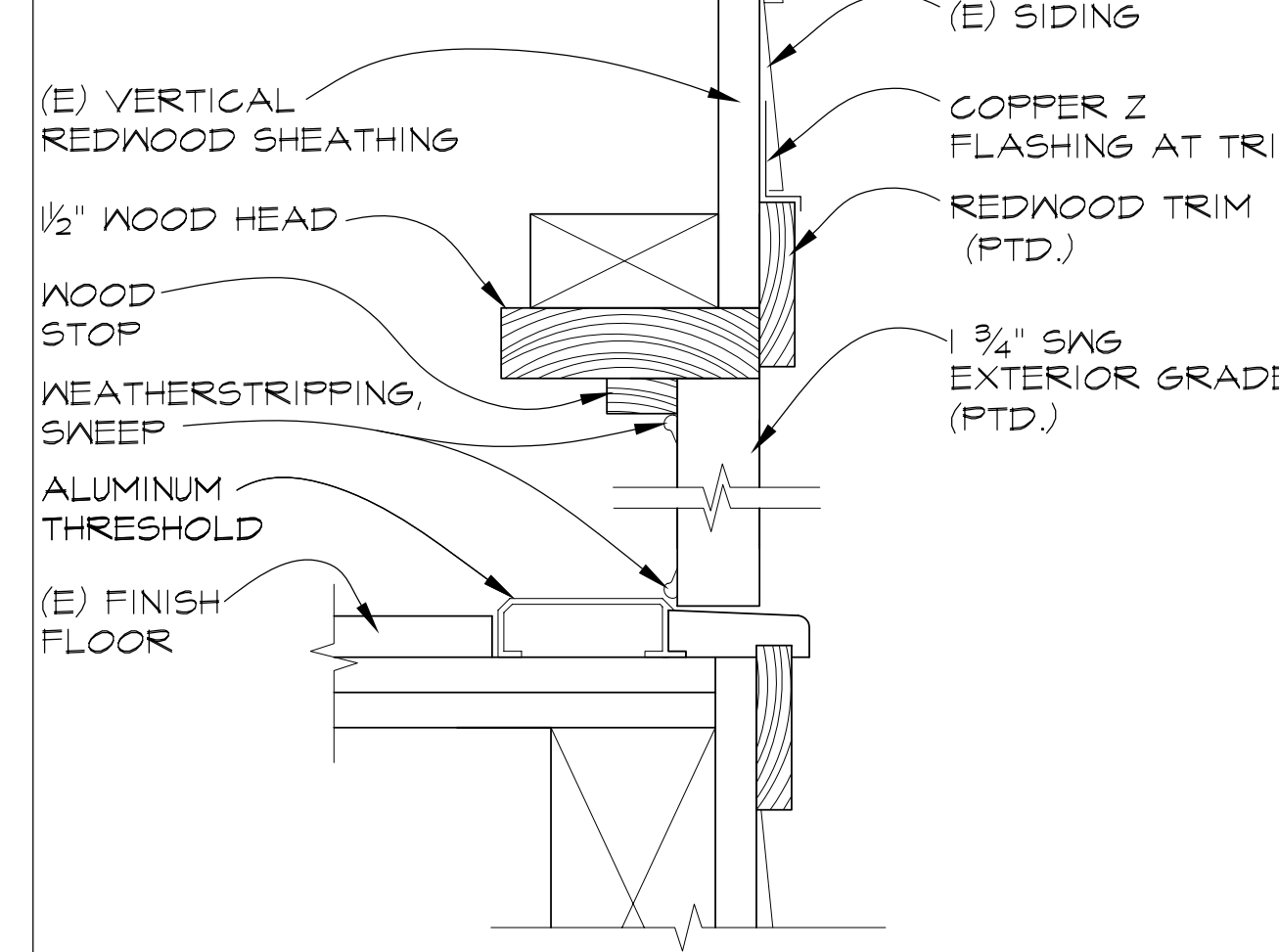
6 ROOFING AT EAVE
 SCALE: 1" = 1'-0" (SOUTH SIDE SIM. OPP.)



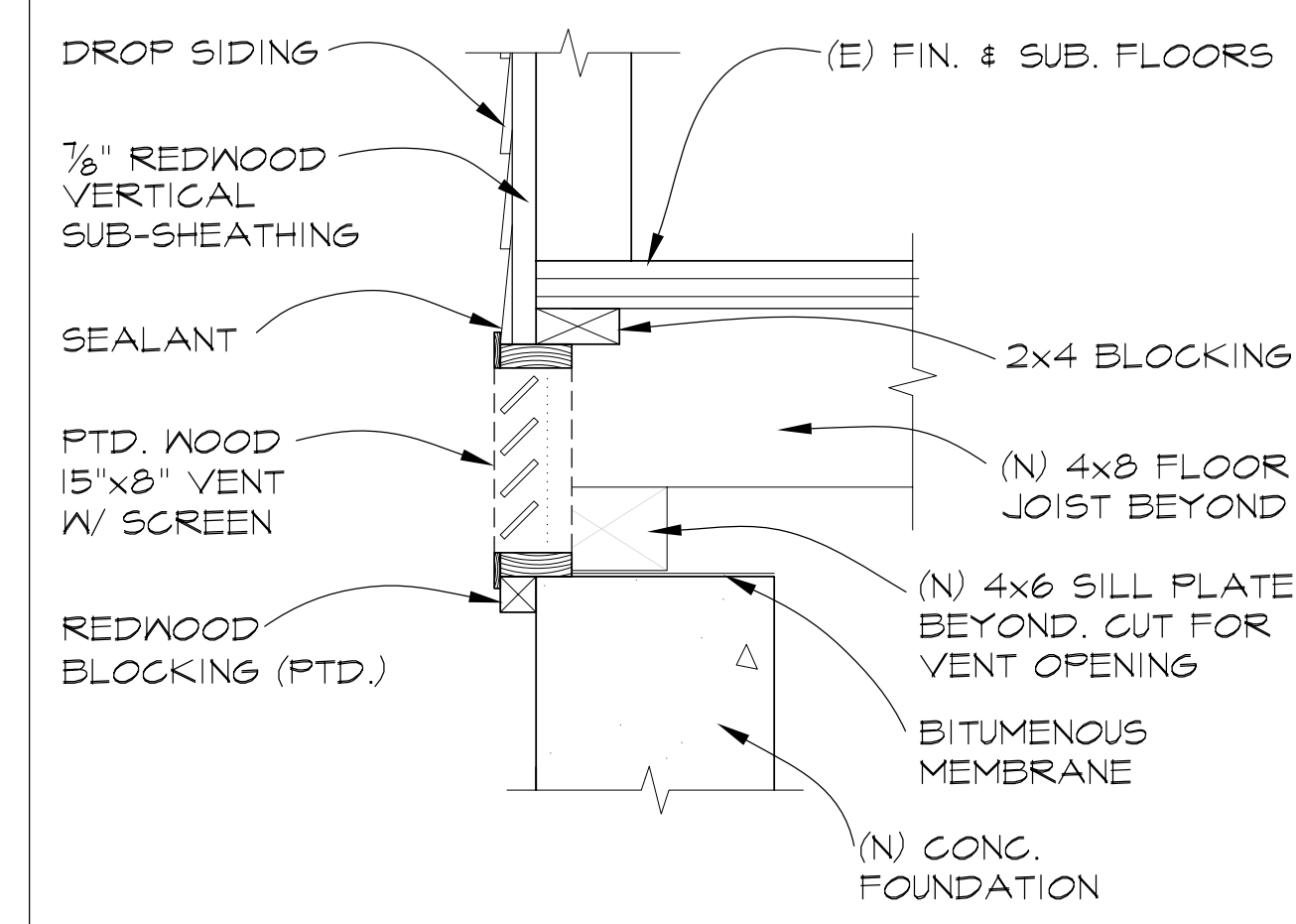
3 DOOR JAMB DETAIL
 SCALE: 3" = 1'-0"



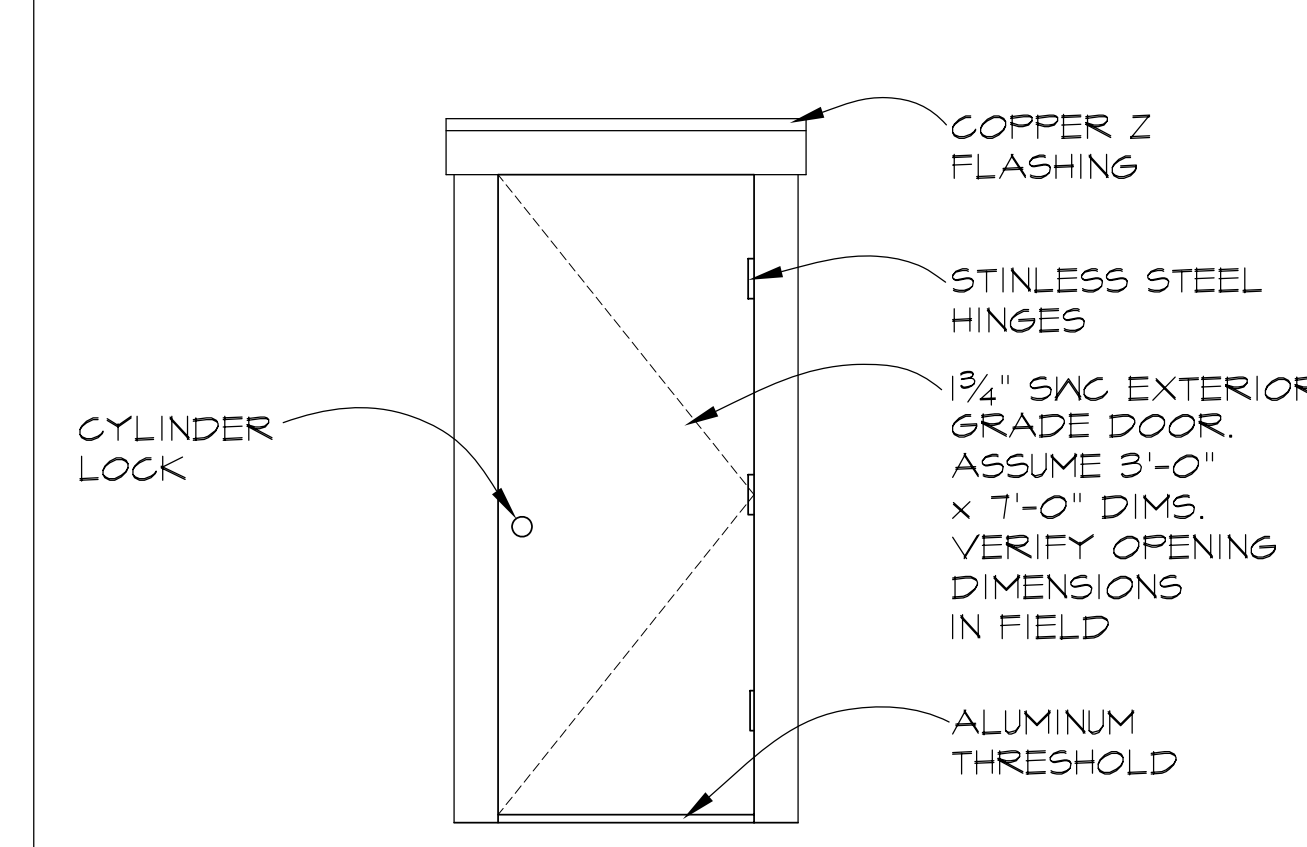
5 FOUNDATION VENT IN EAST OR WEST WALLS
 SCALE: 1 1/2" = 1'-0" (PORCH SIMILAR)



2 DOOR HEAD & SILL
 SCALE: 3" = 1'-0"



4 FOUNDATION VENT IN NORTH OR SOUTH WALL
 SCALE: 1 1/2" = 1'-0" (ALT. 1 PORCH SIMILAR)



1 TEMP. EXTERIOR DOOR
 SCALE: 1/2" = 1'

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CAREY & CO. INC.
 ARCHITECTURE



CONSULTANT:

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NAVARRO, CALIFORNIA

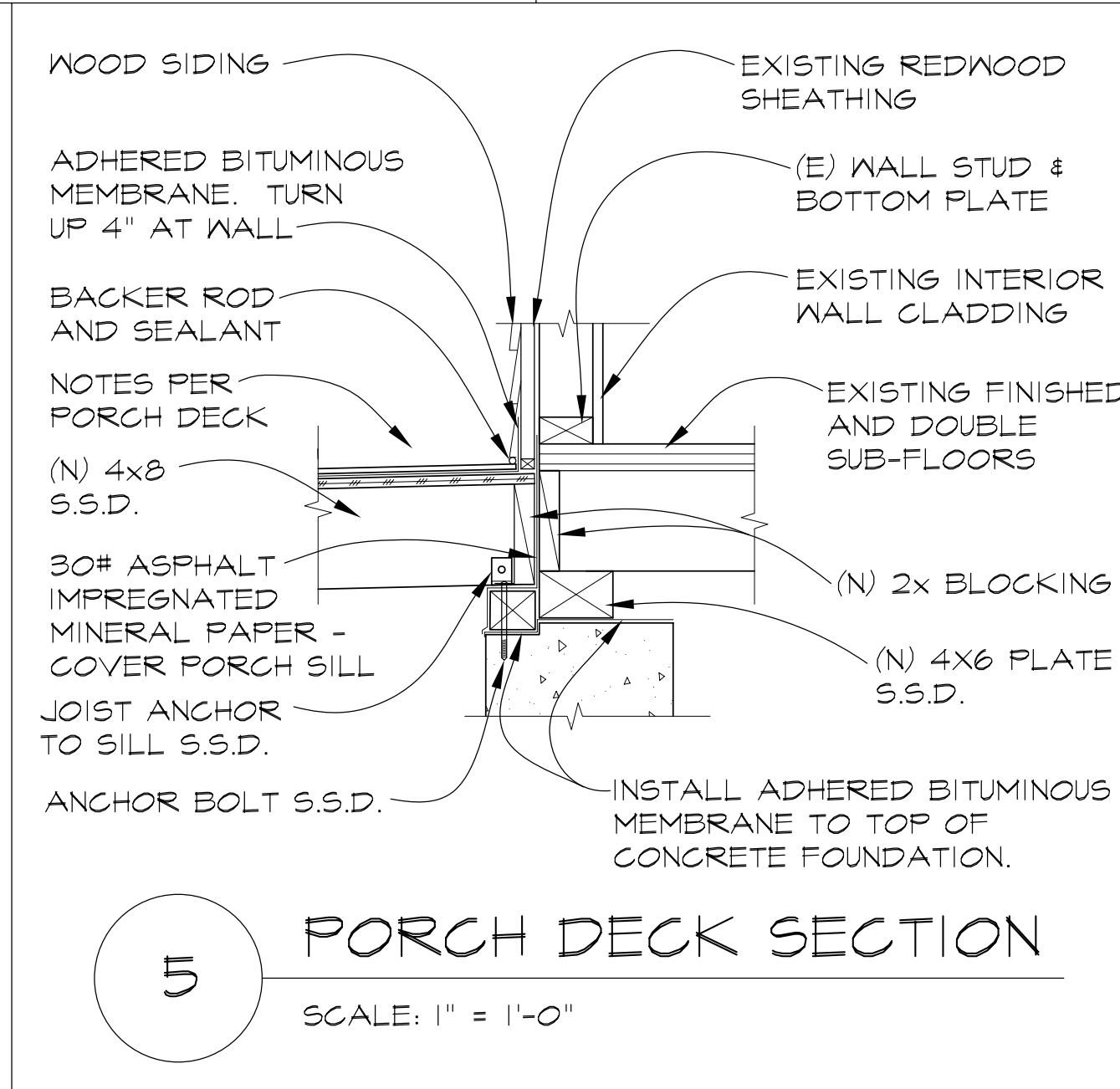
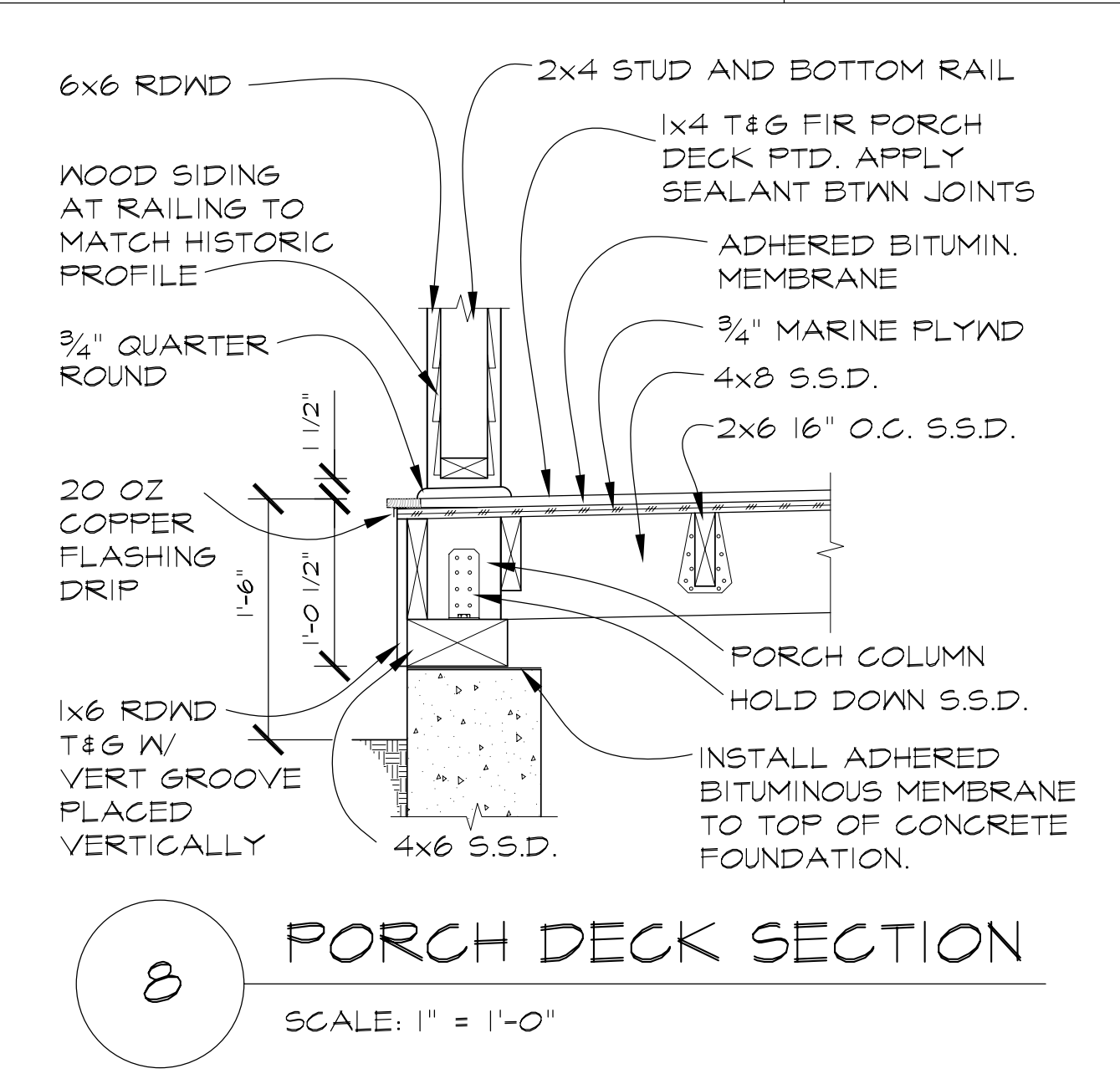
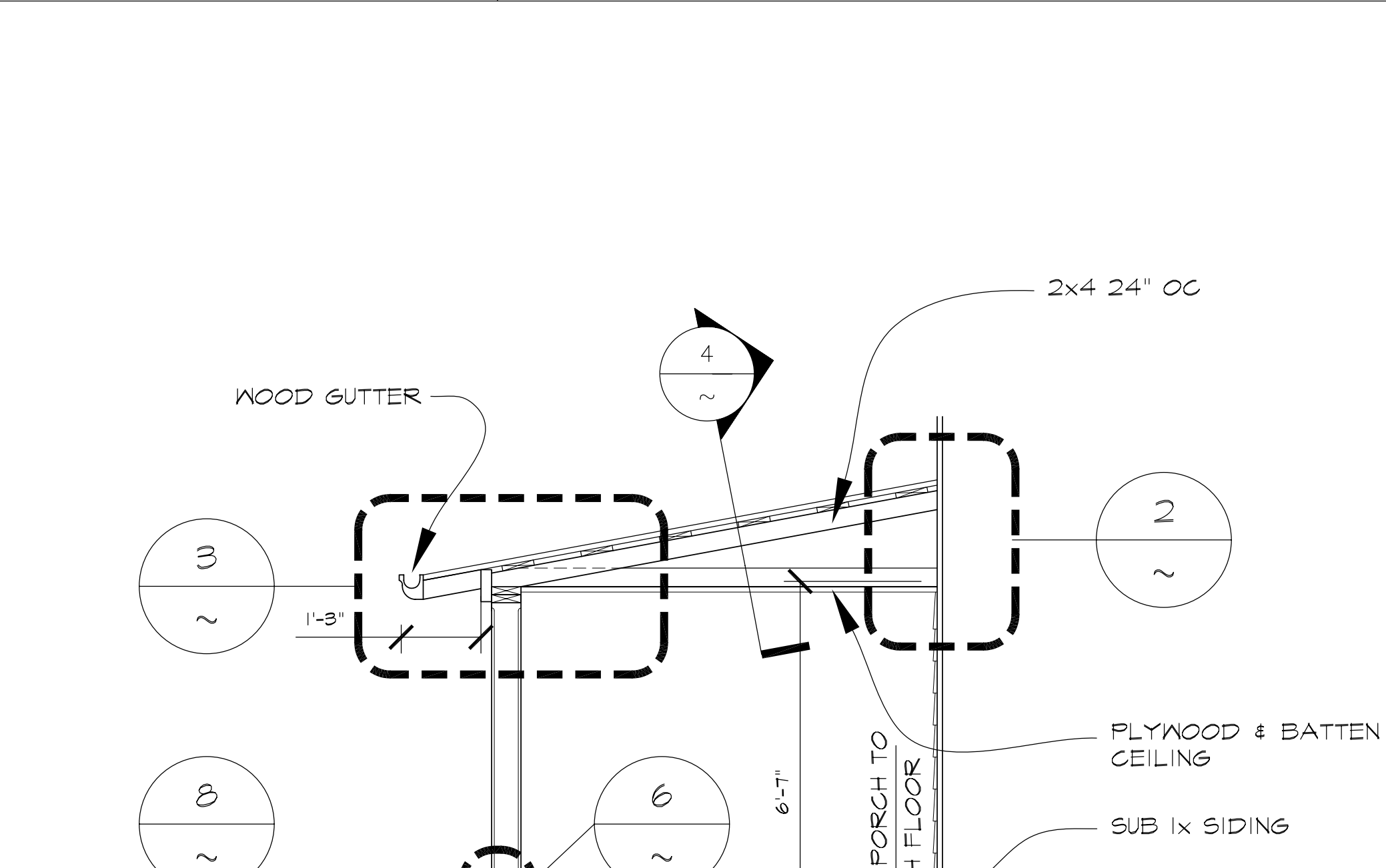
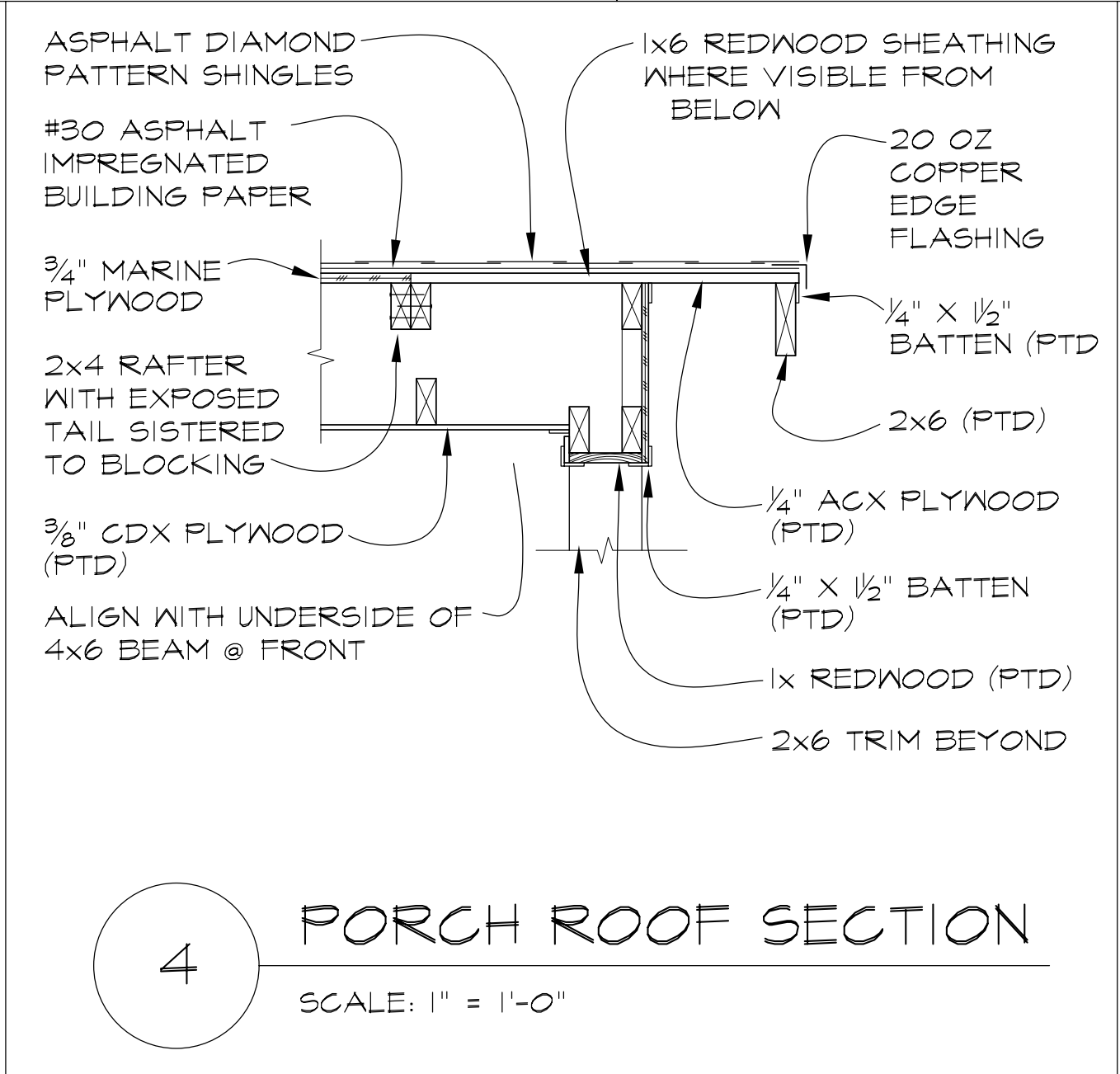
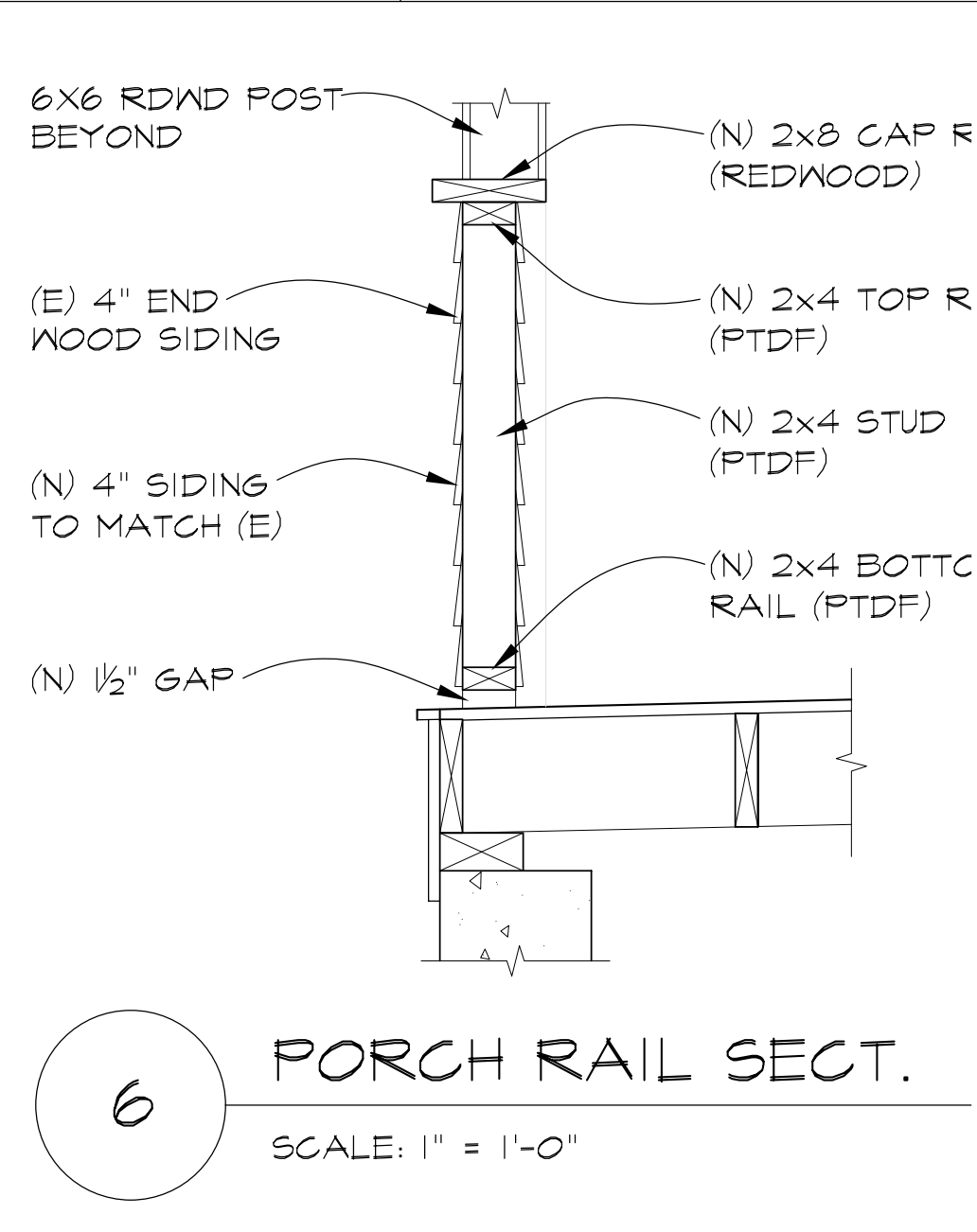
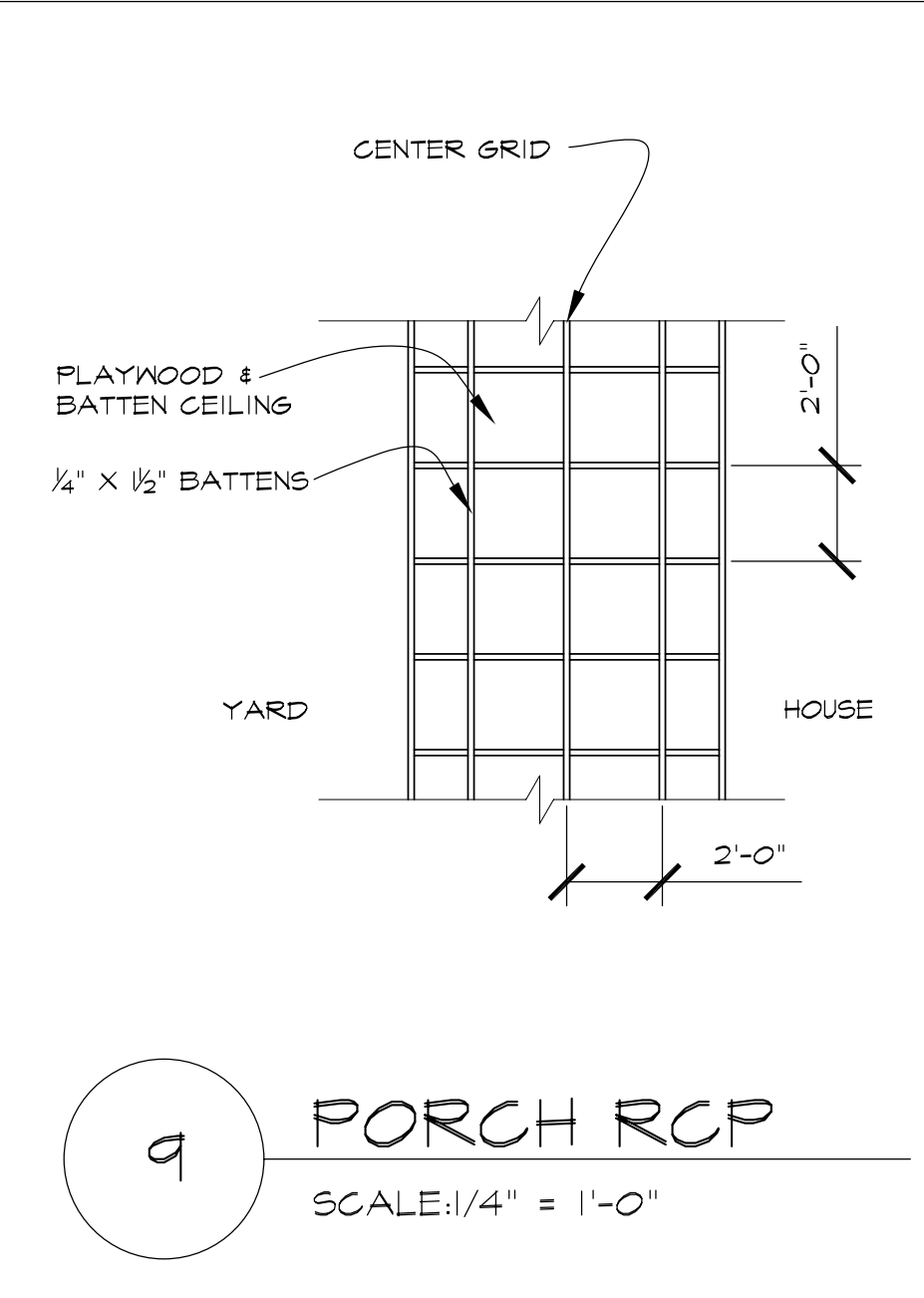
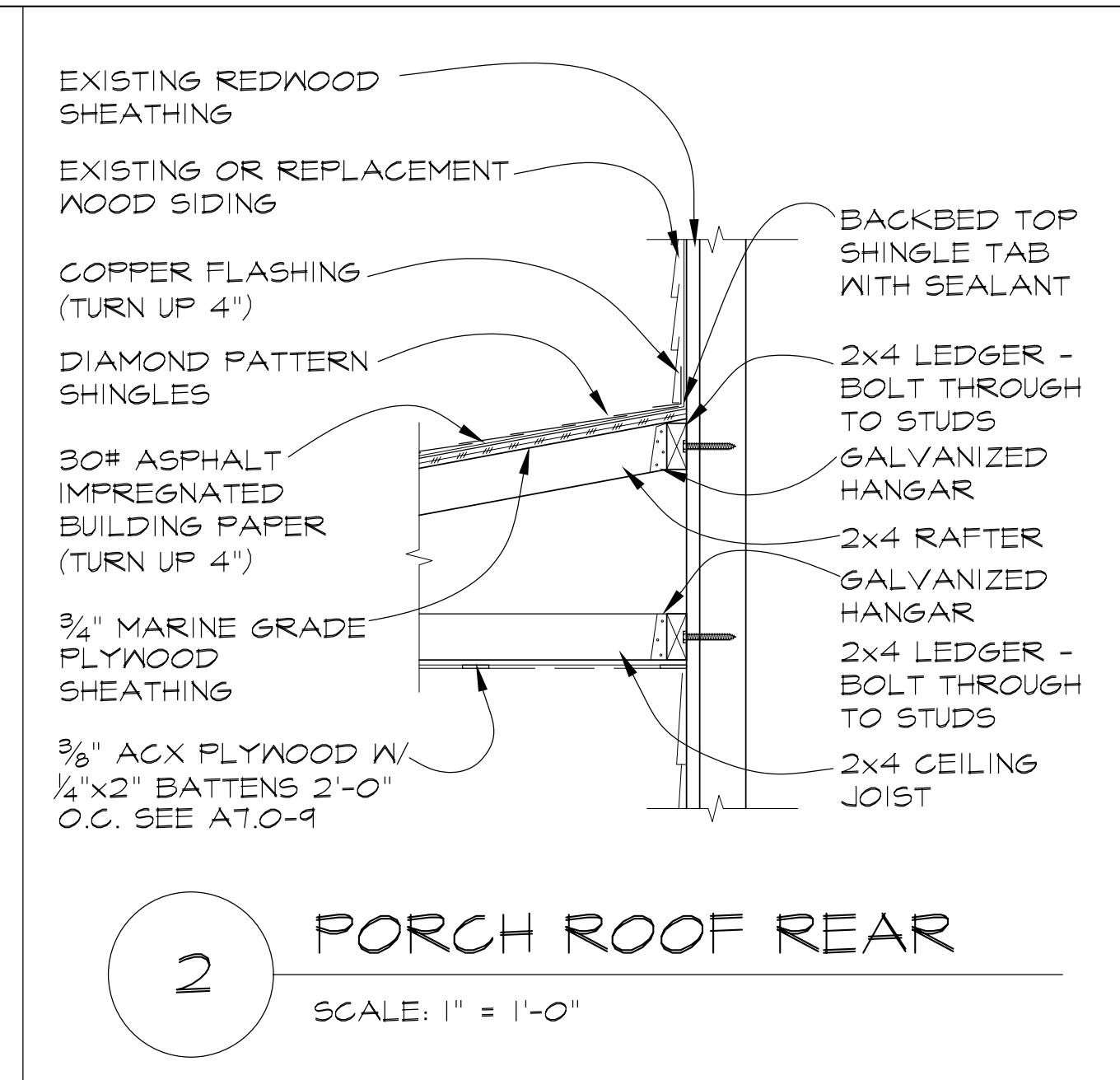
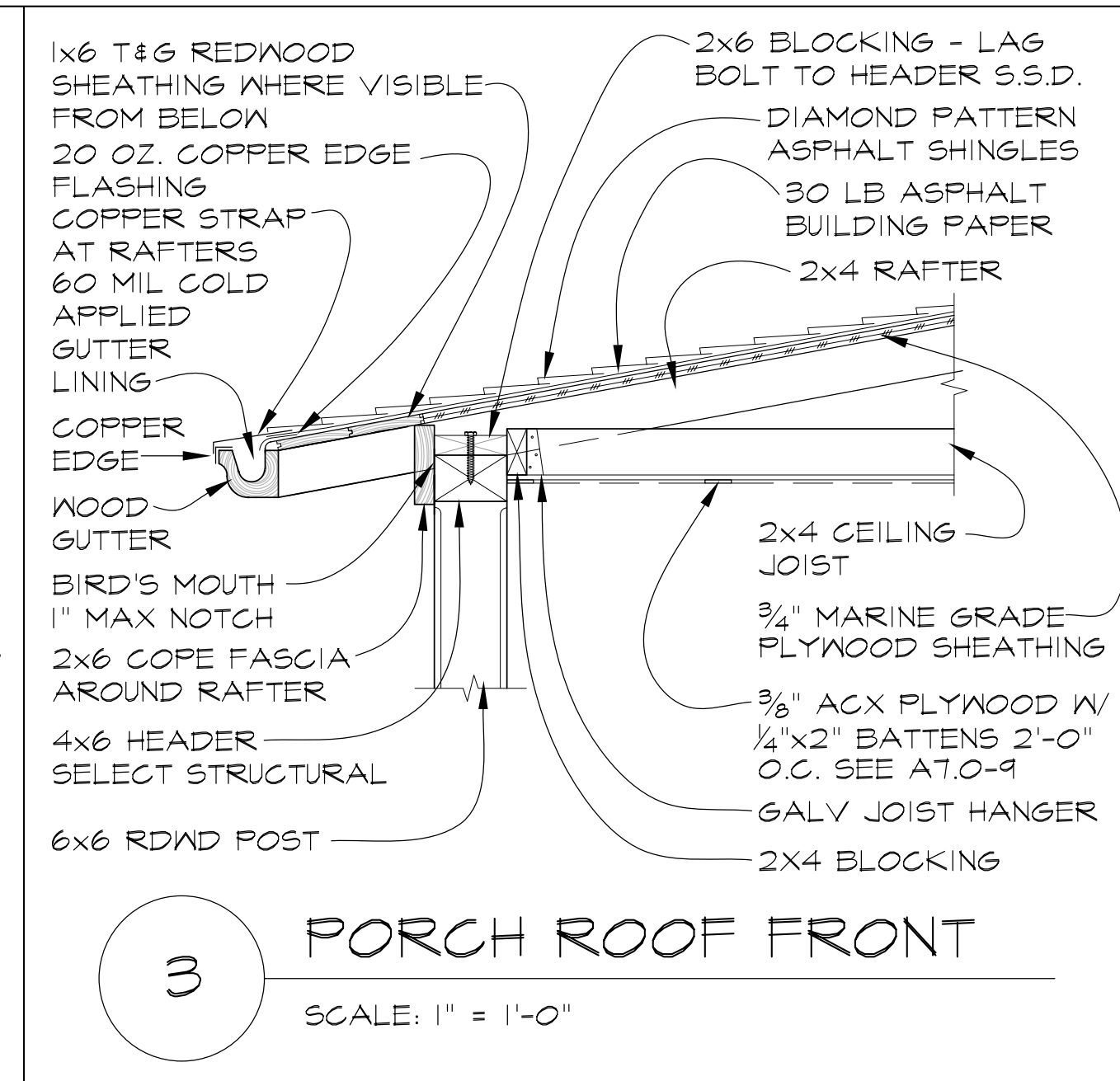
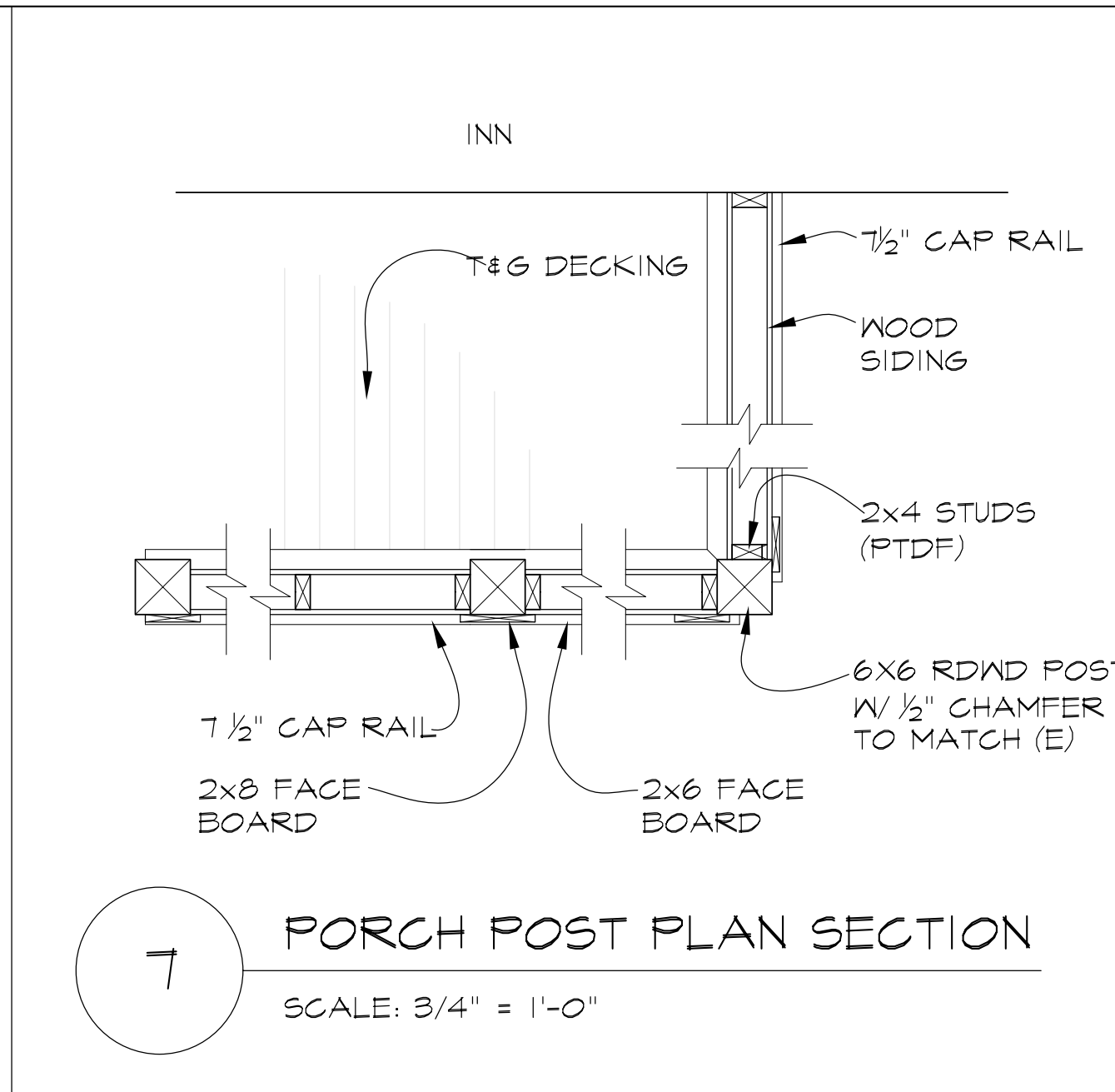
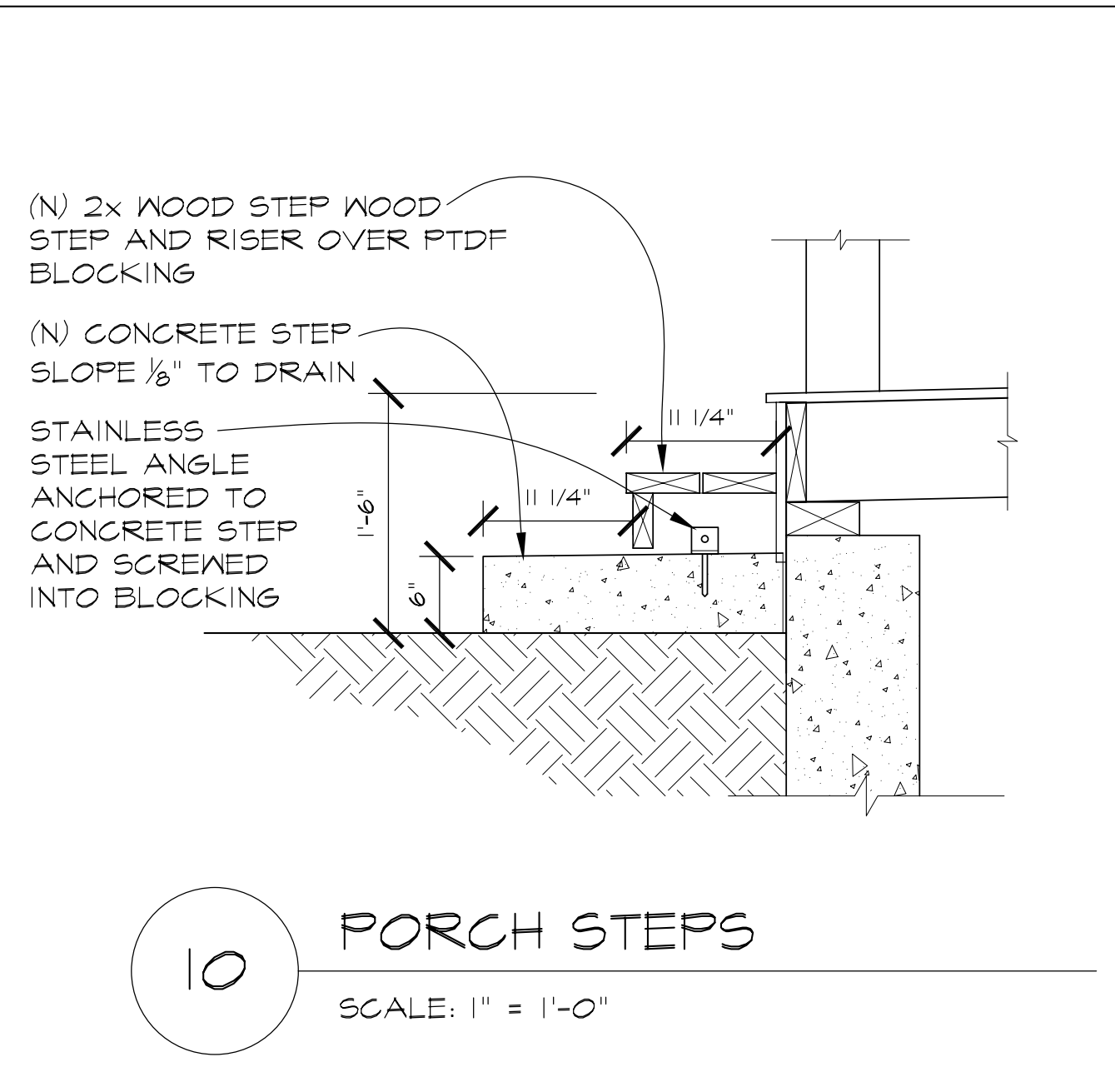
PROGRESS PRINTING SET	11-12-08
75% PROGRESS PRINTING SET	12-19-08
100% C.D. SET	8-10-09
REVISED 100% CD SET	12-14-09
REVISED 100% CD SET	2-15-10
BID DOCUMENTS	05-16-11

STAMP:

DRAWING TITLE:
BASE BID DETAILS

DATE: 8-10-09
 DRAWN: C.M.
 CHECKED: C.D.
 PROJECT NO.: 26183
 SCALE: AS NOTED

DRAWING NO.:
A7.1
 FULL-SIZE, 22x34 HALF-SIZE, 11x17
 SHEET OF



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75% PROGRESS PRINTING SET	12-19-08
100% C.D. SET	8-10-09
REVISED 100% CD SET	12-14-09
REVISED 100% CD SET	2-15-10
BID DOCUMENTS	05-16-11

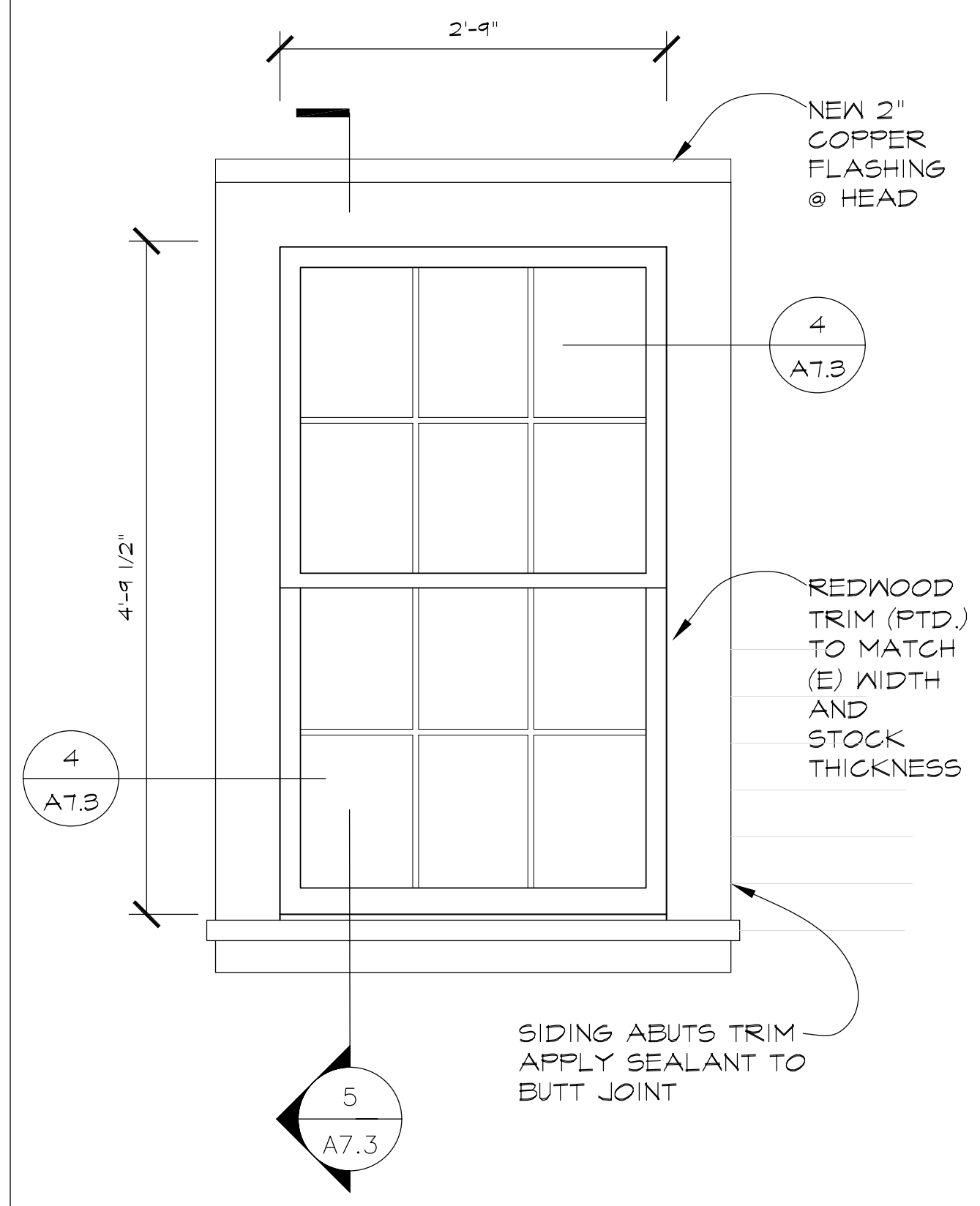
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DRAWING TITLE:
**ALT. #1
PORCH DET.**

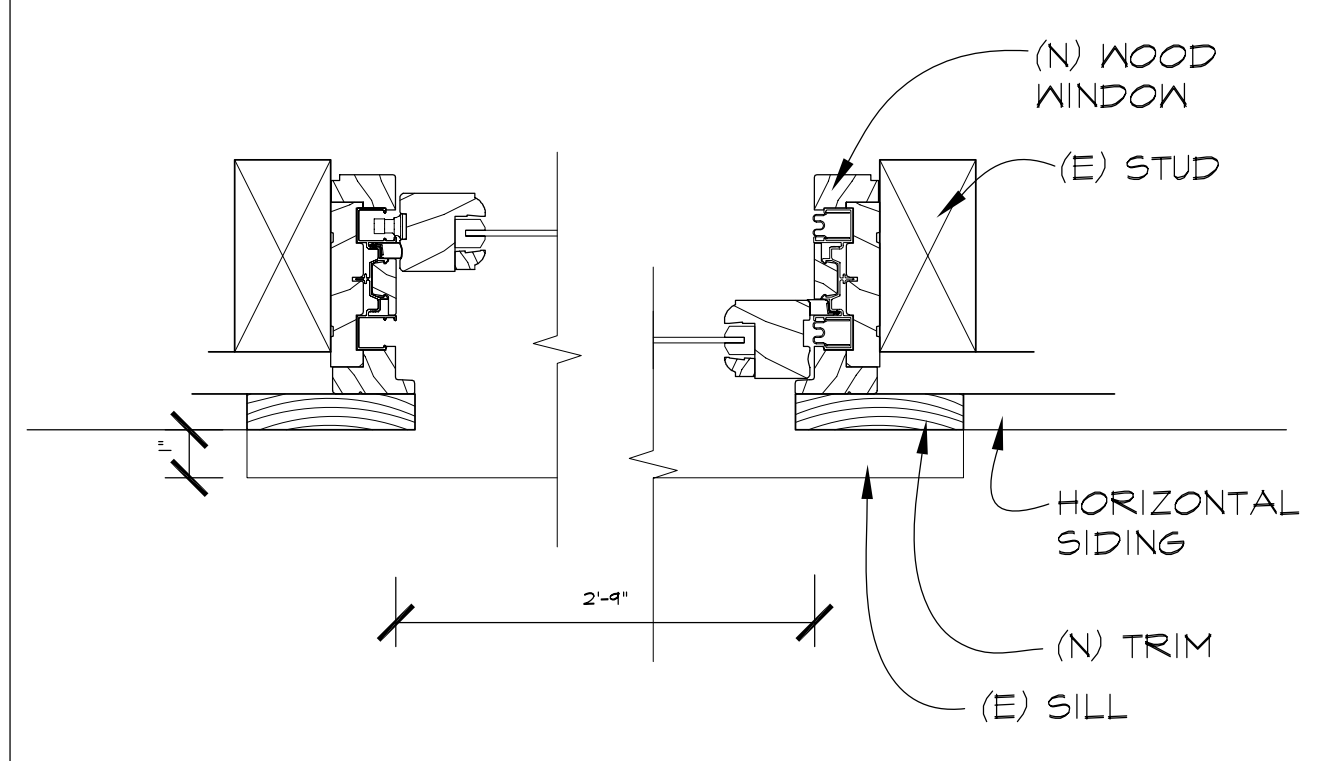
DATE: 8-10-09
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PROJECT NO.: 26183
SCALE: AS NOTED

DRAWING NO.:
A7.2

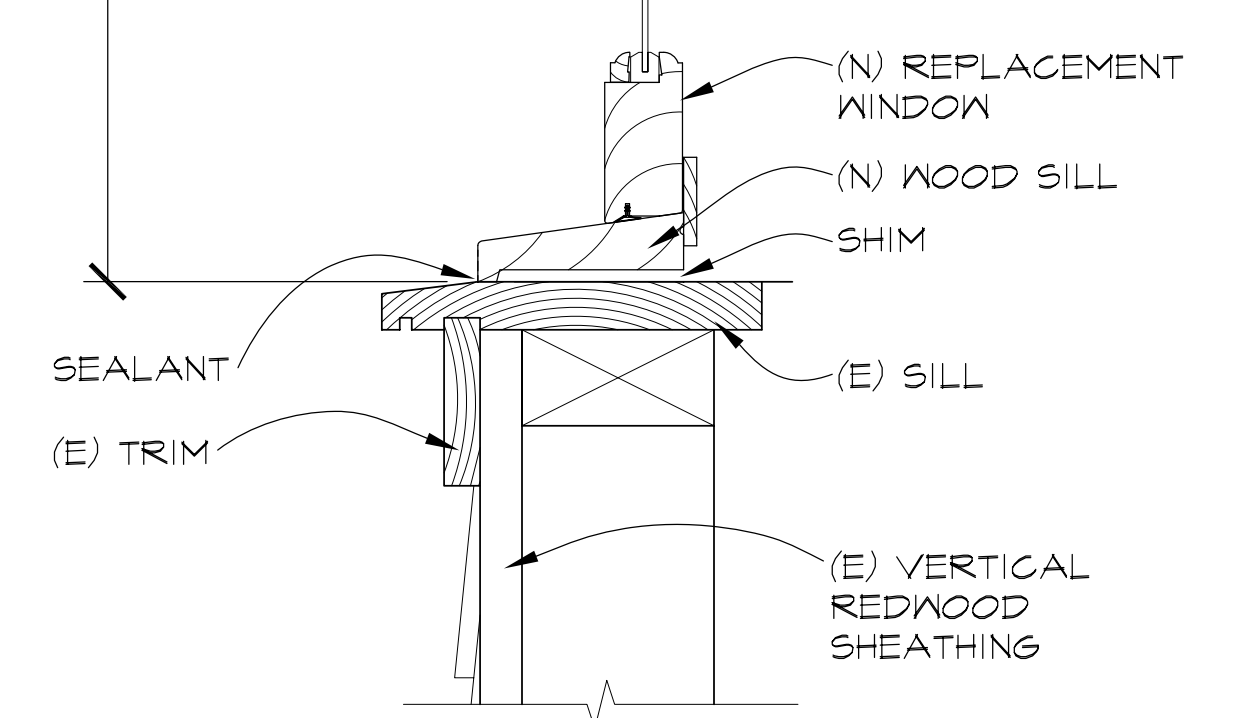
□ FULL-SIZE, 22x34 □ HALF-SIZE, 11x17
SHEET OF



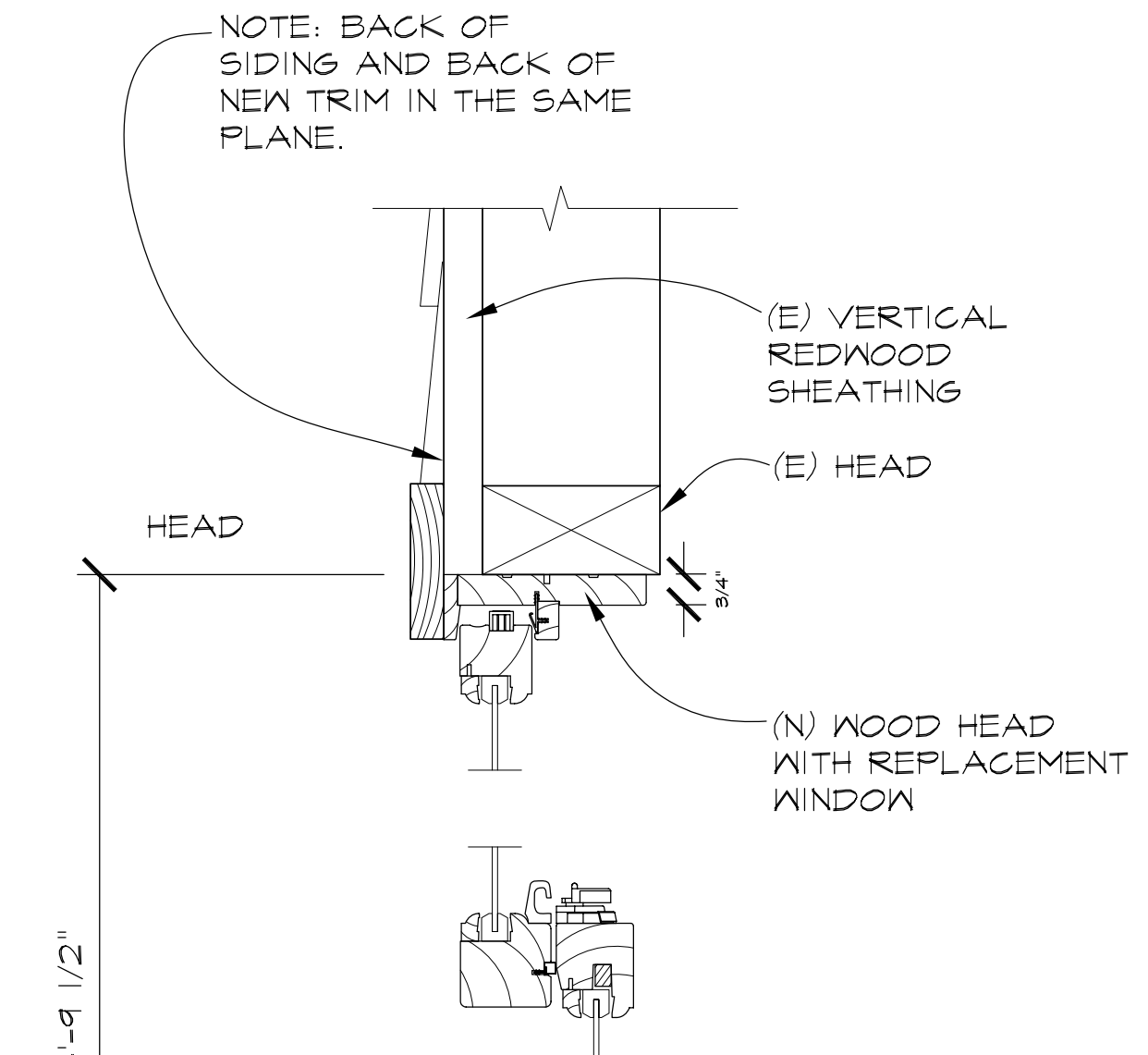
6 1ST FLR WINDOW ELEV.
SCALE: 1" = 1'-0"



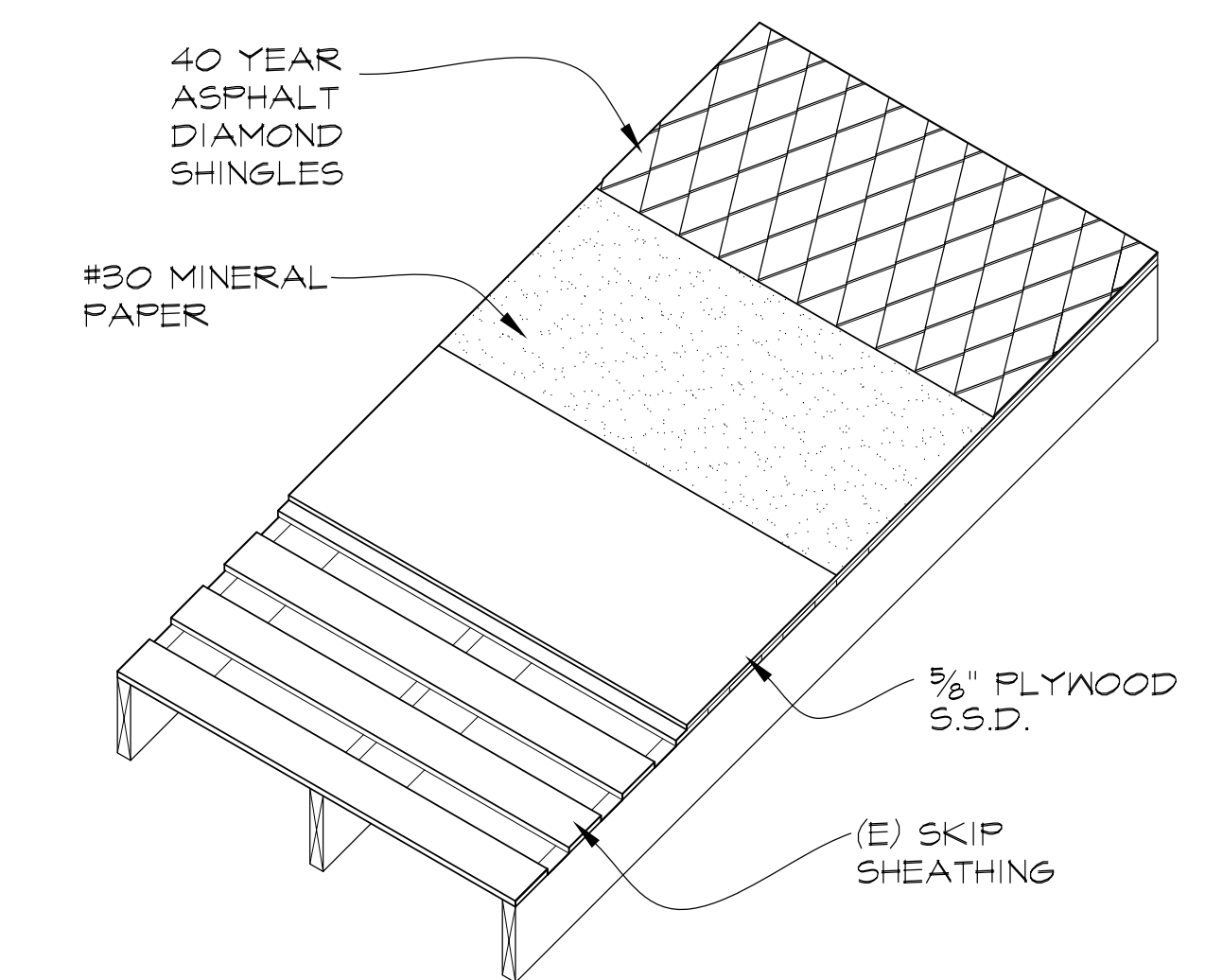
4 WOOD WINDOW JAMB
SCALE: 3" = 1'-0"



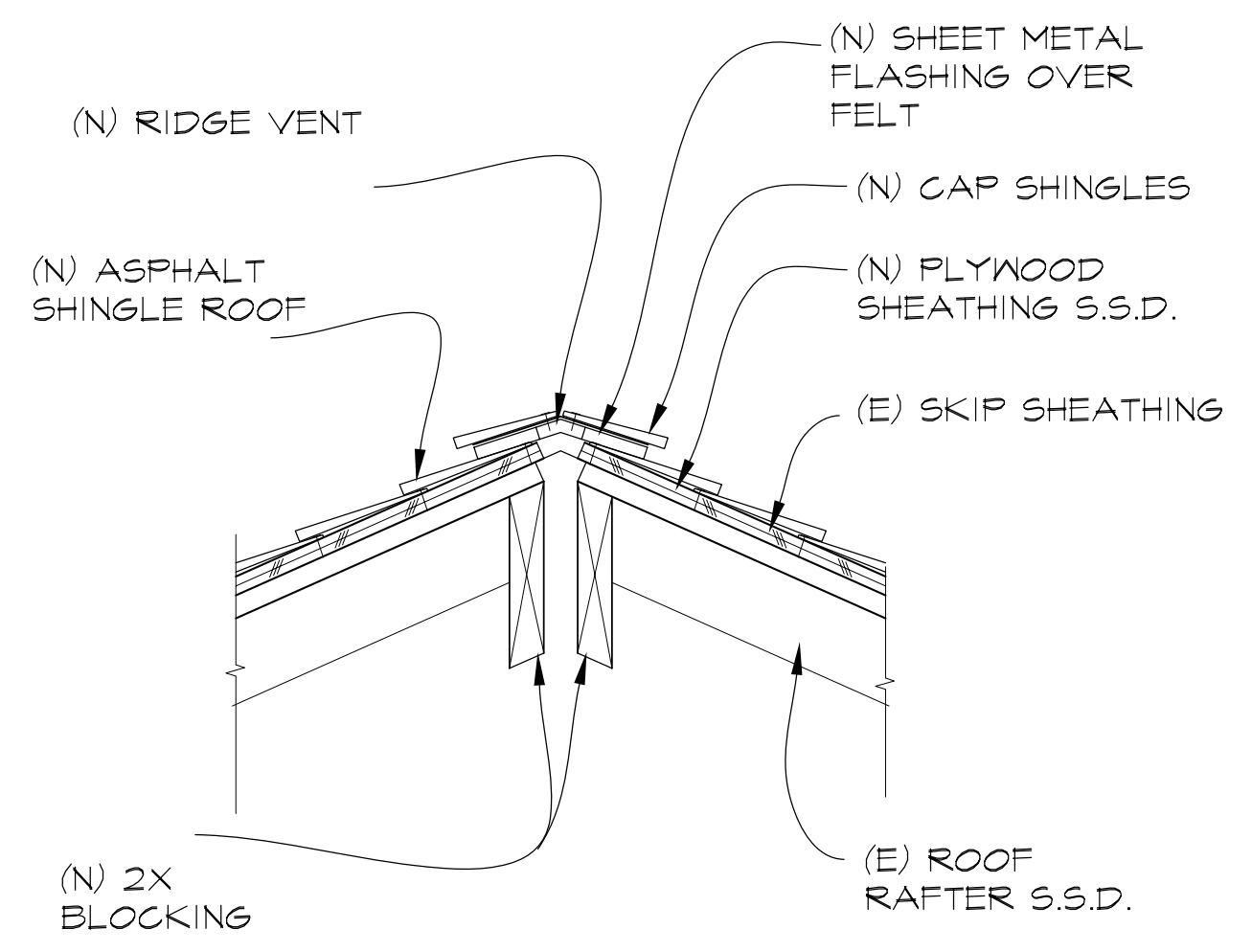
5 WOOD WINDOW SECT.
SCALE: 3" = 1'-0"



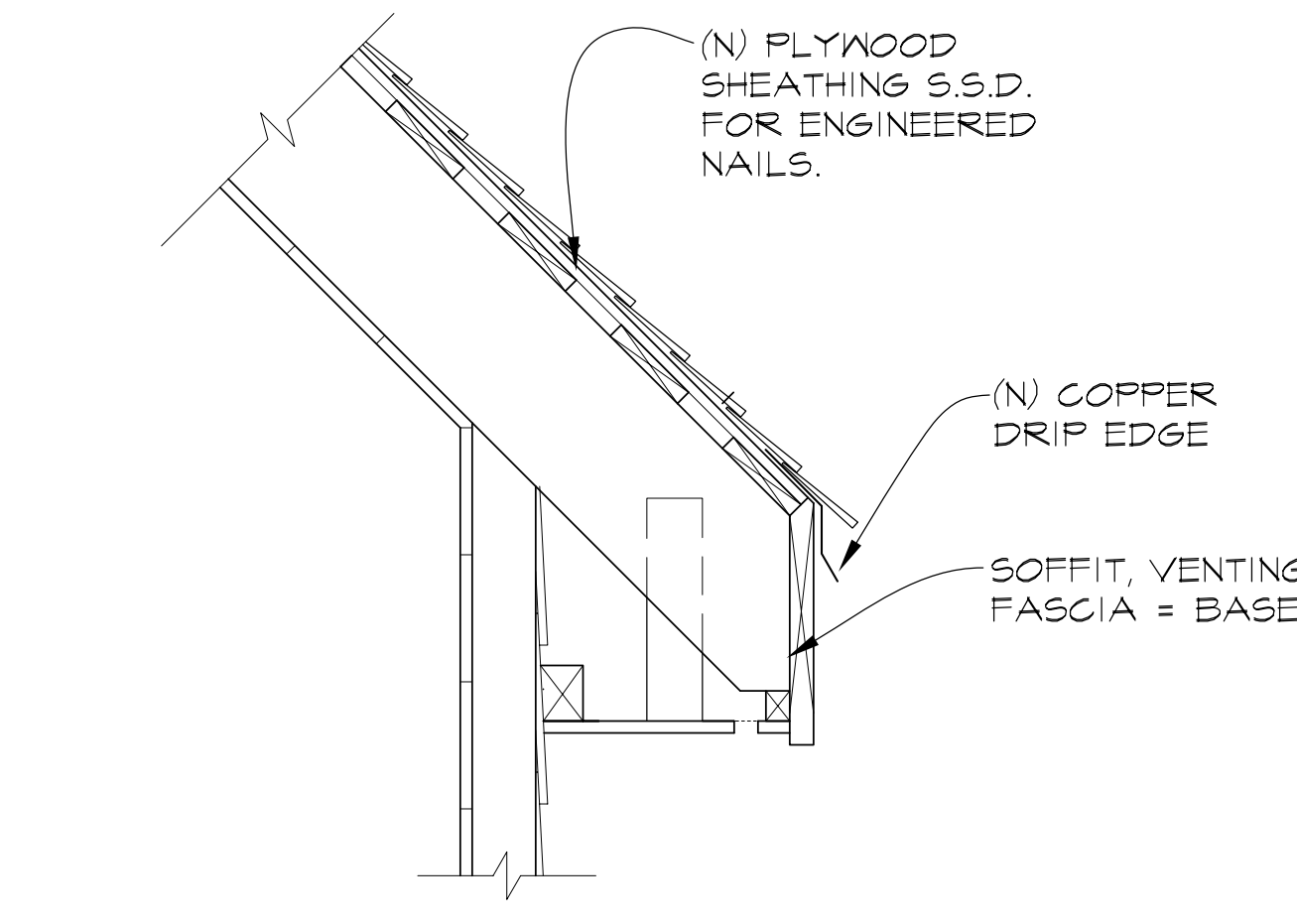
5 WOOD WINDOW SECT.
SCALE: 3" = 1'-0"



1 ROOF ASSEMBLY
SCALE: NTS.



2 ROOFING @ RIDGE
SCALE: 1" = 1'-0"



6 ROOFING AT EAVE
SCALE: 1" = 1'-0" (SOUTH SIDE SIM. OPP.)

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REVISED 100% CD SET	2-15-10
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STAMP:

DRAWING TITLE:
**ALT. 2 ROOF
ALT. 3 WIND.**

DATE:	8-10-09
DRAWN:	C.M.
CHECKED:	C.D.
PROJECT NO.:	26183
SCALE:	AS NOTED

DRAWING NO.:
A7.3
FULL-SIZE, 22x34 SHEET OF HALF-SIZE, 11x17